



4 Seasons Home Inspection, LLC

150 Maple Avenue, #128, South Plainfield, NJ 07080

www.4SeasonsHI.com 1-877-547-7383

Mr. & Mrs. Buyers

Current address

Town, NJ xxxxx

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. A copy is emailed to you if email is available and also enclosed with your hard copies for your review if paper copy requested. Please read all addenda and supplementary attachments. Other inspection reports such as Wood Destroying Insect (Form NPMA-33) are also included with your hard copies if applicable. Any other requested tests will follow. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date:	March 19, 2013 9am- 5:35pm
Client Name:	Alex & Mary (buyer@gmail.com)
Emails:	Realtor@aol.com; Lawyer@gmail.com
Inspection Address:	# street, north west, NJ xxxxx
Inspected by:	Linda Geczi home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age:	~1848 built (~165+yrs.)
Style:	Colonial Farmhouse
Main Entrance Faces:	S
State of Occupancy:	Occupied
Weather Conditions:	Snow, 34-37°F
Ground cover:	wet

Home Inspection:	\$----.00
Termite:	INCL.
Radon \$----/ea.	-----
Total:	\$ ----.00

Paid by: Check # 454

Cc: Lawyer, Esq.
Cc: Realtor, Weichert

Main Concerns (p.2-3) and detailed Summary follows this page (4-31)

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Main Concerns: Have evaluated, repaired or addressed before closing.

1. **ELECTRICAL**- Have the main panel in Stables checked by electrician for buzzed/tripped CB 5th on bottom left, overloading and imbalanced loads and requirements for power needed to operate stables day to day functions safely.

SHOP- The electric in shop was corroded; conduits, BX cables, wire trays, electrical boxes, outlets, switches, etc. Recommend GFCI outlets in shop for safety. The rear wall sub panel had two breakers off; further evaluate reason. Recommend a licensed electrician evaluate entire electrical system and distribution and make upgrades; electrical shock hazards exist.
2. **ROOF & DRAINAGE /GUTTERS/VENTILATION**- **Have** qualified residential/commercial roofer evaluate all roofs and advise on replacements/repairs, gutters & leaders and ventilation. Leaking roofs, leaking or inadequate gutters and poor ventilation were observed and causing water damage to structure (exterior-siding/trim/wood/cladding, foundation, seepage, etc.) Roof and gutters are important to protect the dwellings from water damage and seepage/wet basement & crawl. Recommend drainage & grading contractor evaluate around structures and advise on measures to control water concerns. There was water streaming in ruts and water ponding around foundation and property; poor drainage. Basement and crawl had water coming down walls and onto floors.
3. **GARAGE STRUCTURE DEFICIENCIES/DEFECTS**- There is an overall twist or racking of the structure; deficiencies or defects exist. The walls were not square and pushed out as viewed inside garage and on exterior; unstable. There was powder post beetle, termite, and carpenter bee/ant damage or evidence observed; have treated by licensed pest company and all damage repaired. Recommend a barn/garage mortise & tenon restoration contractor evaluate and advise on all repairs or course of action.
4. **STRUCTURE** - There were repairs in basement and crawl space. There were handyman repairs and temporary screw jacks; improper. Supports were not under junctures where mortise & tenon separated and sagging joists and beam(s); deficiencies still exist. Much of the flooring above on all floors were sloped, uneven and humps. Have a structural engineer or qualified structural contractor or building contractor evaluate repairs, structure in home and advise on all structural repairs.
5. **MASONRY/SIDING/TRIM/ REPAIRS**- **There** were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence from water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired (chipped or broken off) by a mason or building contractor. The gutters on main house and other structures were in poor condition. There was extensive damage on main house; siding, trim, chimney chase, wood details, etc. Lack of properly sized/functioning gutters and flashings has caused damage to these components. Have a siding and roofer/gutter contractor evaluate extent of all damage and advise on repairs, gutters and flashings. Recommend wrapping wood trim and flashings where possible to help protect wood. Have contractor rule out concealed water damage & mold to structure due to extent of visible damage.

6. **WINDOWS**: Have a window installer evaluate the vapor seal breaks in guesthouse. In main house there was broken counter balance (drop on their own), misaligned upper & lower sash and broken slider door lock in family room. Have a window installer evaluate all windows and make replacements, adjustments or repairs where needed. Ask if any windows are under warranty and if transferrable.
7. **Wood Destroying Insect (WDI)**: There was observed evidence of wood destroying insect and /or damage in home, garage or other structures. Have treated by a licensed Pest Company. See separate NPMA-33 Termite report. Extent of all termite in home, garage, etc. should be determined and repaired.
8. **BASEMENT STEPS/RAILING MAIN HOUSE**: There is a height difference at top of basement steps in kitchen; slip/fall hazard. This should be level for safety and non-slip tread tape on edges. Add railings on steps for safety. The stringers need to be cut at bottom; trip hazard. The basement landing on right side does not have a step or railing; have installed for safety.

end.

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly. Recommend checking with local authorities for permits on additions and alterations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical and other mechanical problems or issues as they occur, with qualified contractors, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications. It is recommended to obtain township permits for history of home. Recommend a "Home Warranty." Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read REMARKS addendum as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report which may not reflect boxed area checked.

GROUNDS: There was rot on front lamp post at main house; have addressed. There were several smaller shed or storage areas on property; these are "Pole Shed" kits and some have label of manufacture. The large shed across from stables have significant carpenter bee damage. Have all damage to sheds or outbuildings repaired. All wood and siding should have at least 6-8" clearance between them. Decking components (posts, stringers) were in contact with soil. Deck was built over stone foundation; wood in contact with soil and masonry. Deck was mainly snow covered; limited view. There was rot, cracks, rough wood, peeled paint, missing railings, loose railings, soft wood, etc. Have a carpenter or building contractor evaluate for upgrades; deck in marginal/poor condition. Seal & fill cracks on driveway where needed. The raised front porch needs repointing on bluestone & concrete mortar. There were some soft spot or rot on lower porch columns; have repaired where needed. Keep snow off front raised porch to avoid water damage. There were large gaps between the large bluestone walks; have spaces closed up or add stone dust to make level for safety. Small children or toes can trip with the large gaps. Keep snow off patio, walks and away from structures in winter to avoid seepage. There is a side basement steps on right side of house; recommend drainage at bottom and/or add cover /awning to keep water out of stairwell. There were ruts, holes, erosion, water streaming around structures and poorly functioning gutters. See gutter section comments. Recommend drainage & grading contractor evaluate around structures and advise on measures to control water concerns; streams and ponding everywhere. Basement had water coming down walls and onto floor and crawl space had moisture, wet spots and efflorescence in these areas. Gutters or roof drainage systems as well as grading and drainage need to be addressed and

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measures done to control water seepage. Property had poor drainage. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. Recommend window well covers for all basement windows to keep out water, ice snow and avoid wet basement.

CONCERNS:

1. There were ruts, holes, erosion, water streaming around structures and poorly functioning gutters. See gutter section comments. Recommend drainage & grading contractor evaluate around structures and advise on measures to control water concerns. There was water streaming in ruts and water ponding around foundation and property; poor drainage. Basement and crawl had water coming down walls and onto floors.

ROOFS: Have qualified residential/commercial roofer evaluate all roofs and advise on replacements/repairs, gutters & leaders and ventilation. Leaking roofs, leaking or inadequate gutters and poor ventilation were observed and causing water damage to structure (exterior-siding/trim/wood/cladding, foundation, seepage, etc.) Roof and gutters are important to protect the dwellings from water damage.

(Stable)- The Stable (horses) roof is approximately 12+ yrs. old and building was constructed approximately 2001. Obtain exact age from closed township permits. All roofs were snow covered, and some had melted pockets or edges during the day. The stable roof stayed snow covered and only edges visible; indicating an asphalt roof. Roofer should evaluate roofs as soon as snow is fully melted off structures. Since a roofer will need to evaluate the guest house & shop roofs as well as gutters and leaking on main house, have roofer evaluate all roofs on property.

(Guesthouse & Shop)- The guest house had a mix of roofing types (two or more asphalt products/styles) and shingles on lower pitch upper dormer in rear. Shingles are not recommended on roof pitch less than a 4/12 slope- *prone to leaks*). The front lower roof at guesthouse entrance was newer than the other roofs and a different style/type. It is not recommended to have multi-ages and types of roofing on home; roofs should be installed at same time for best protection. The majority of roof on guesthouse was very old asphalt tab roof. The flat roof over shop was leaking profusely during inspection when snow melting and began to have frozen rain. This roof was very old; coating or sealant was not done properly and peeling off roof. There were cracks, lifted seams, gaps, puckering, etc. and water ponding on roof. Scuppers were draining and no attached gutters to take water away from structure. Water was ponding on ground below flooding water against the foundations. Roof drainage system/gutters were not function as intended to protect the dwelling and shop. The attic was finished in the guesthouse and no access to roof structure. A small sealed/painted access panel in front by window; have opened up when accessible to inspect inside. Have qualified commercial/residential roofer evaluate these roofs for replacement/repairs, new gutters & rain leaders and ventilation (gable roofs).

(Garage)- The garage roof was older tab roof (edge view only due to snow) and no gutters. There were minimal or inadequate collar ties (see garage section structural comments) and plywood had been added as sheathing possible on last roof installation. There was visible lathe (horizontal) possible from a cedar shingle roof. There is a small roof over front of garage that still has the old cedar shingles. Recommend a qualified roofer evaluate roof for replacement/repairs/ add gutters & rain leaders (extend away 8ft+) and ventilation.

(Main house)- The roof was partially melted in spots as the rain began to melt areas. Roof gutter system was not functioning properly. The leaking gutters and improper exterior flashings were causing damage to exterior (siding, trim, window frames, and framed chimney chase). See siding section comments. Have a roofer and siding contractor evaluate for proper gutters or roof drainage system including proper flashings to avoid reoccurring exterior damage to wood cladding.

All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage. Ice damming is generally cause by improper insulation and ventilation in attics; have this checked when roofs evaluated.

CONCERNS:

NOTE: Have qualified residential/commercial roofer evaluate all roofs and advise on replacements/repairs, gutters & leaders and ventilation. Leaking roofs, leaking or inadequate gutters and poor ventilation were observed and causing water damage to structure (exterior-siding/trim/wood/cladding, foundation, seepage, etc.) Roof and gutters are important to protect the dwellings from water damage.

1. **SHOP (attached to guesthouse)-** The roof over shop was in poor condition; older, patched/peeling/cracks/handyman repairs and leaking into the building. Water was ponding on flat surfaces and down walls/floor. There was heavy efflorescence on stone and block work walls; ongoing water concerns over the years. Have qualified roofer evaluate for replacement/repairs

Guesthouse- Roof had a mix of asphalt roofing and ages; lower front was most recent or newest. The main roof and upper dormer had old asphalt tab shingles. The dormer had shingles on less than 4/12 pitch roof; not recommended and prone to leaking on low slope roofs. Confer with roofer for other flat roof choices such as Modified Bitumen Membranes (various types- self-sticking, mop down, granule & smooth finishes, etc.) that are for low pitched roofing to avoid leaks. Have roofer evaluate guesthouse roofs along with the attached shop.

Recommend adding more ventilation (soffit, ridge vents, etc.); poor ventilation on house will shorten life of roofs. **Garage-** Roof is very old and no gutter; have roofer evaluate for replacement/repairs, ventilation and add gutters/rain leaders for drainage. The garage roof was missing collar ties and the mortise & tenon construction was racked or twisted; need a structural engineer and/or barn restoration contractor for this build period.



Roof peeling, cracks, puckered, gaps, patched, leaking into shop; poor condition.

Figure 1 Shop flat roof in poor condition; ponding water, cracks, peeled sheeting, lifted seams/gaps, etc. Have a qualified roofer evaluate roof for replacement/repairs and gutters under scuppers to drain water away from building.

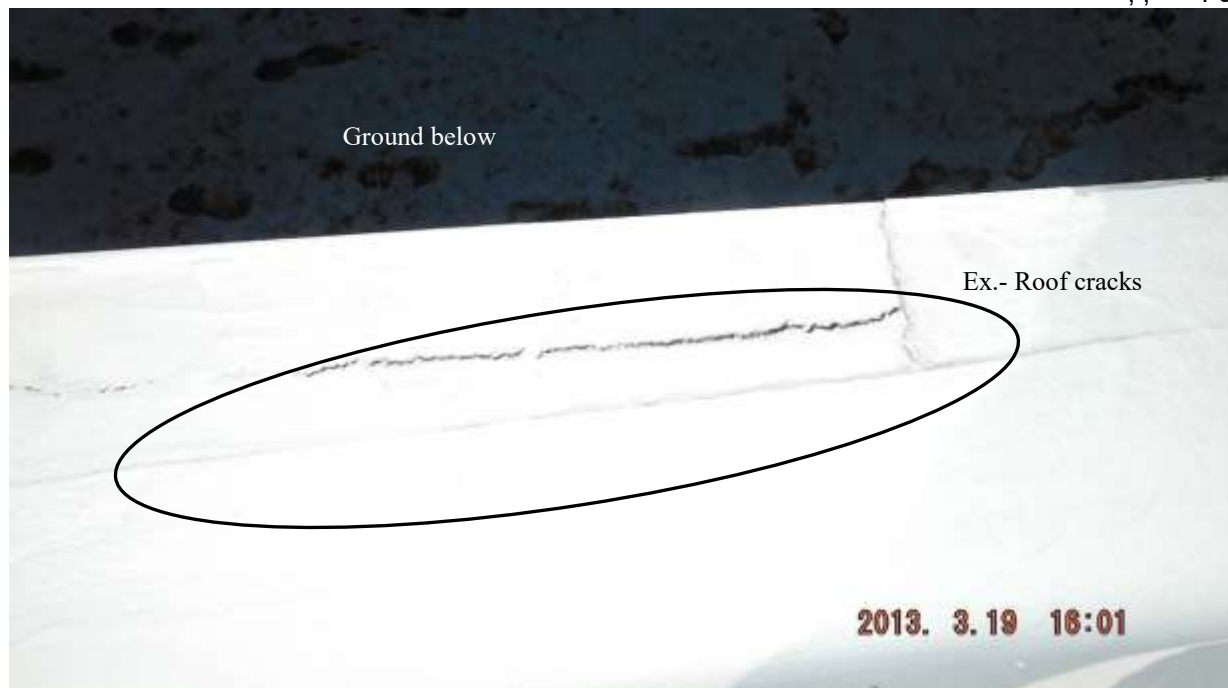


Figure 2 Example of cracks on roof; leaking and poor condition/very old and patched.



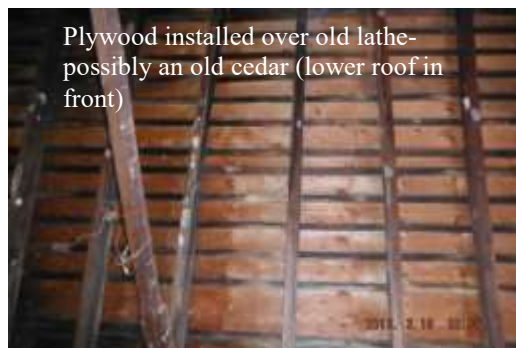
Figure 3 Low sloped roof appeared to be tab asphalt (view on edge of snow covered roof). Asphalt shingles on pitches lower than 4/12 are prone to leaks.



Figure 4 Garage had old asphalt roof. There were water stains visible inside from second floor; leaking.



Garage snow cover



Plywood installed over old lathe-possibly an old cedar (lower roof in front)



Stable snow cover

Figure 5 (A) All roofs were snow covered and only edges or small sections washed away during the time at home (9-5:35pm); limited vies in melted areas and on roof edges. (B) Visible plywood sheathing from 2nd floor; changed possibly at last roof installation. Have roofer evaluate for replacement/repairs, gutter installation and ventilation.



Figure 6 Snow cover; partial view during the day as snow changed to freezing rain. Recommend more ventilation on all roofs; poor or inadequate.

CHIMNEY/GUTTERS/SIDING/TRIM (Leaking & exterior damage): Gutters were in poor condition on home, guesthouse and missing on garage. Gutters were leaking and causing exterior damage and seepage around home, guesthouse and garage; poor condition. There was extensive damage on main house; siding, trim, chimney chase, wood details, etc. Lack of properly sized/functioning gutters and flashings have caused damage to these components. Have a siding and roofer/gutter contractor evaluate extent of all damage and advise on repairs, gutters and flashings. Recommend wrapping wood trim and flashings where possible to help protect wood from reoccurring water damage. Have contractor rule out concealed water damage & mold to structure due to extent of visible damage. There were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence form water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired (chipped or broken off) by a mason or building contractor. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. The framed chimney had extensive rot from water damage. The brick chimney had a lot of dark soot, efflorescence and moss. Have all chimneys evaluated by chimney contractor and siding contractor. Recommend chimney rain caps that extend past chase to protect chimneys from water and damage. Moss gives indication of water intrusion into chase or chimney. All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. It is strongly advised that a Level II Internal chimney inspection be conducted in accordance with the National Fire Safety Standard (NFPA 211) prior to closing.

CONCERNS:

1. **Gutters were leaking and causing exterior damage and seepage around home, guesthouse and garage; poor condition. There was extensive damage on main house; siding, trim, chimney chase, wood details, etc. Lack of properly sized/functioning gutters and flashings have caused damage to these components.**
2. **Have a siding and roofer/gutter contractor evaluate extent of all damage and advise on repairs, gutters and flashings. Recommend wrapping wood trim and flashings where possible to help protect wood. Have contractor rule out concealed water damage & mold to structure due to extent of visible damage.**
3. **There were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence form water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired (chipped or broken off) by a mason or building contractor.**
4. **Have all chimneys evaluated; damage and drafting concerns/heavy soot on brick chase.**

Examples of exterior water damage/rot:



Figure 7 Guesthouse exterior water damage on side door and window units. Have window & door installer evaluate for replacement/repairs and flashings. Gutters need to be addressed on all buildings.



Figure 8 Leaking gutters and exterior siding/cladding rot.

Siding in contact with soil; need 6-8" clearance.







EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : There were some outlets not tripping on exterior guesthouse; have electrician evaluate. There was a radon mitigation system near the brick chimney (fan was running). The A/C units were very old at or past expected lives. A/C for guesthouse was approximately 12+ yrs. Trane old and the 2 Lennox units for the main house were approximately 12+-15 yrs. old. All units were older and typical life expectancy is approximately 12-15 yrs.; plan on replacements. These systems cannot be tested in winter; need to be tested when seasonal temperatures (60-65F for ~3 consecutive days & nights) to avoid damaging compressor(condensing units). Have an HVAC contractor evaluate A/C units and advise on remaining life or replacements due to old age. There were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence form water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired

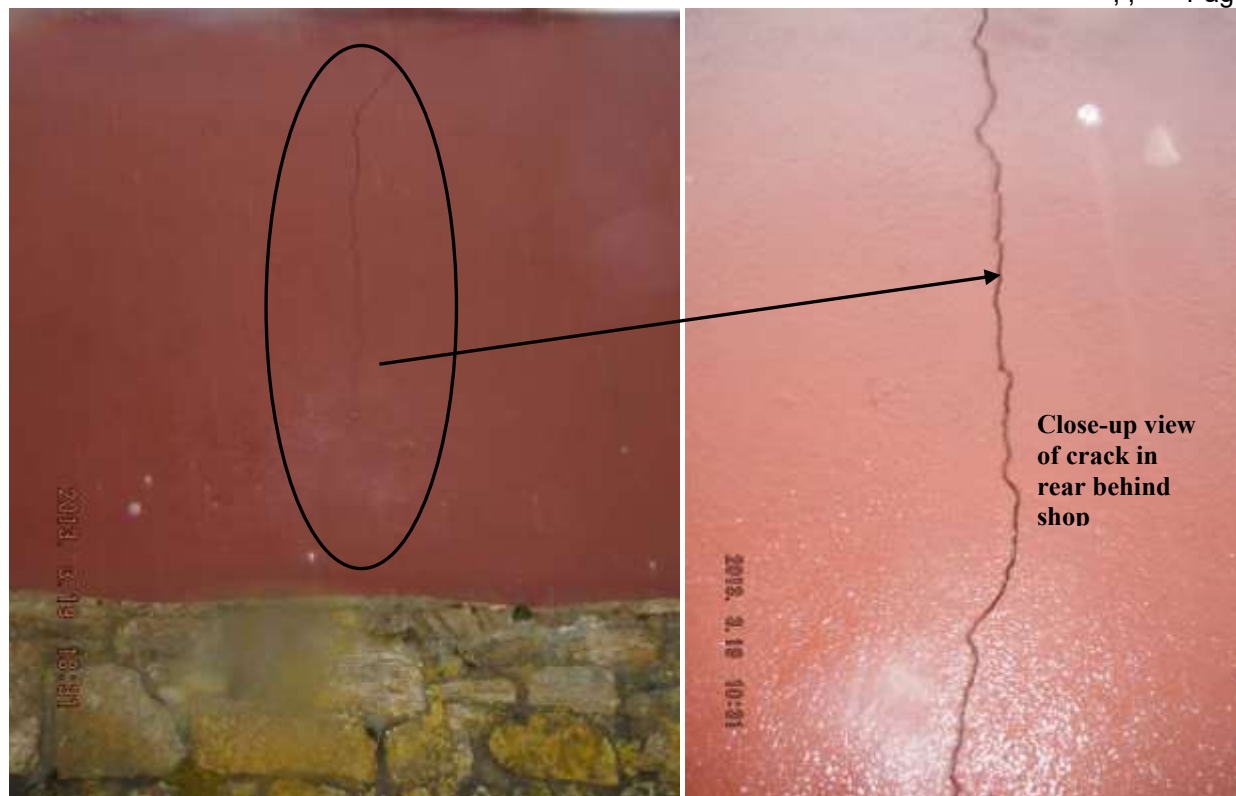
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(chipped or broken off) by a mason or building contractor. All utility lines, communication or cables should be sealed at structure penetrations to keep out water, rodents and insects. The sub panel is very old and only 30amps; feeder breaker in shop. See shop section comments. Electrical in shop needs major upgrades for safety. Recommend electrical evaluate this panel to see if more power needed. Recommend adding outlet son second floor; none visible. All outlets in garage should be GFCI protected and tamper resistant for child safety. Recommend upgrading the feeder to garage; only a 30amp feeder (from shop) to sub panel in rear right corner. Sub panel is very old, taped cover, rust; have evaluated for upgrade and more power to garage. The garage roof is very old and no gutter; have roofer evaluate for replacement/repairs, ventilation and add gutters/rain leaders for drainage. There was a lower roof that had cedar shingles; splits, drying cracks, weathered, deterioration, etc. There were water stains on the underside of second floor viewed on garage 1st level. Have roof evaluated by qualified roofer; see roofing section comments. The garage roof structure was missing collar ties and the mortise & tenon construction was racked or twisted. The joints had gaps, separation, slipped out of original connections, cracks, warped, etc. Supports or columns had moved and some ends slipped and not secured in place. There is an overall twist or racking of the structure; deficiencies or defects exist. The walls were not square and pushed out as viewed inside garage and on exterior; unstable. Recommend a barn/garage mortise & tenon restoration contractor evaluate and advise on all repairs or course of action. Check sources for restoration and compare contractors and reputations (example- www.amishtimberframers.com "Amish Timber Framers" and *other contractors* experienced in pole barns or post & beam and antique mortise & tenon structures). There was rot (water and insect) on wood siding, frames, trim, stringers, entrance/timber sills or threshold, garage swing out doors, etc.) have extent of all damage determined and repaired. There was powder post beetle damage on the heavy timber door threshold on man door to right of garage doors. Timber is damaged and loose or not attached. Recommend treatments for powder post beetle and carpenter bee, carpenter ant by a licensed pest company. Wood sills were on a stone& concrete support. Have a structural mason and/or the barn restorer contractor make repairs to these structures; gaps, cracks, missing mortar, etc.

CONCERNS:

- 1. Have all stonework (foundations, privacy walls, retaining walls, etc.) evaluated for repairs/repainting. Have the shop walls (Block or CMU) evaluated by structural contractor or engineer; vertical cracks visible and inside shop had mortar gaps/cracks/unfilled or improperly repaired). All utility lines, communication or cables should be sealed at structure penetrations to keep out water, rodents and insects.**
- 2. There is a door on second floor that is opened does not have a platform or balcony; extremely dangerous. Have door nailed or bolted closed to seal off for safety.**
- 3. There is an overall twist or racking of the structure; deficiencies or defects exist. The walls were not square and pushed out as viewed inside garage and on exterior; unstable. There was powder post beetle, termite, and carpenter bee/ant damage or evidence observed; have treated by licensed pest company and all damage repaired. Recommend a barn/garage mortise & tenon restoration contractor evaluate and advise on all repairs or course of action.**



OUTBUILDINGS

18 STALL HORSE STABLE : The 5th 20 amp circuit breaker on bottom was buzzing and tripped when looking at the main panel. The breaker was labeled outlets and all stables had numerous extension cords plugged into outlets. Have electrician evaluate breaker and add more power or outlets where needed. Extension cords, multipliers and power strips should not be used to avoid overloading circuits; fire hazard. There is indication of multi-wire branch circuits (MWBC). These share a neutral and if one breaker trips, it is a good practice to have a handle tie to avoid potential arcing for fire safety and electrical shock safety should the neutral be disconnected. A handle tie would trip the other breaker simultaneously to make sure the current from other leg of the multi wire also stops flowing through the neutral; avoid arcing for fire safety. It was a common practice to have MWBC in construction until recently. It is now a common electrical practice to have a common trip breaker (internal common trip or with handle ties) when multi wire branch circuits are present. Again common past practices to bring power to areas close to one another while keeping costs down.* There is always a potential for overloads especially where serving large areas or long home runs of wiring for loads of general lighting and electrical receptacles. There is potential for main panel to have an imbalanced load that can manifest in electrical noise, buzzing or dimming lights when multiple devices used in the building. A licensed electrician can best evaluate and advise on any measures needed to safe guard against any potentially unsafe condition and advise on any status changes required by Local Township regarding multi wire branch circuits and verify its presence. Checking voltage potentials and other electrical testing can only be done by licensed electricians and beyond the scope of a general home inspection; therefore not verified. The uses in this building may vary from owner to owner. If more power is required, discuss needs with a licensed electrician and have installed. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Equipment, heaters or heavy draw items should be on separate dedicated circuits. There was overall low lighting in stables; discuss lighting options with electrician. There was a damaged outlet mounted outside a stall approximately half way down center. Have electrician evaluate and repair. Use caution with tractors or vehicles in stables to avoid damage. Have covers replaced where damaged. There was generator hook-up on stables; ask if any generators staying with property. There were several box fans or portable fans in stables. Confer with a ventilation contractor for more permanent solutions or options to cool or ventilate the stables in warm/hot weather. Consider adding shaded trees around structures (properly spaced away

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from building) to help shade building in hot weather. Recommend proper lighting near the main electrical panel for safety and for electrician servicing the load center. The "Post & Beam" stable appears to be 12+ yrs.; obtain all closed permits for exact age of construction and retain copies with house papers. Ask if structure has any transferrable warranty with structure and the manufacturer (ex. Morton, Yankee, Horizon, Amish Barn Co., etc.). Check with owners or the township to find out the manufacturer's name and contact information. The siding, trim, and posts had wear & tear, drying cracks and some damage (water, rot, or mechanical); have repaired where damaged or worn. The stable doors were rusted; have painted or rust inhibitor to protect metal. There were numerous dug out areas or holes around and under the structure; have filled in and pitch away from structure for drainage. Make sure siding or any wood does not come in contact with soils. Siding should have at least 6-8" clearance between siding and soil. There were drainage concerns around this structure as well as the garage and main house. Gutters were filled with ice and snow; consider having Gutter Heating Cables installed with automatic thermostats to avoid clogged gutters and water damage. There were horses in some of the stables at time of inspection as well as hay, farm vehicles, tools, equipment, fans, array of strewn extensions cords, stall flooring/boards, etc.

CONCERNS:

1. A 20 amp circuit breaker on 5th up on bottom left panel (labeled outlets) started to buzz and then tripped when looking at the panel. There were numerous extension cords plugged into each other from stall to stall and into outlets; over loaded and fire safety hazard. Have a licensed electrician evaluate breaker and requirements needed in stables and add power or outlets where needed. Do no use extension cords for safety.
2. Have the electrician confirm presence of multi wire branch circuits and any requirements if in effect by Local Township for need to have common trips or handle ties due to shared neutrals on circuit breakers. Extra precautions or adding these safety features is always recommended when MWBC's are present even if not required for added safety measures. Have electrician check the panel for any imbalanced loads.



Figure 9 Breaker buzzed and tripped. Numerous extension cords and devices plugged into outlets in stalls; overloaded/fire safety concern. There was a damaged outlet mounted on outside of a stall approximately half way down center.

I. MAIN HOUSE

KITCHEN EAT-IN : Seal the granite counter tops at least twice a year. Have the large door adjusted; for safety; heavy door drops on its own. The door does not close all the way and door is a safety hazard; should be repaired.** The under counter outlets were GFCI protected; reset is on the back splash outlet. That outlet was pulled out of wall and power cords plugged into them; have electrician make repair. The sprayer was leaking; have repaired. Ask if Anderson windows are under warranty. Recommend having the center 2x4 straightened under sink that was installed with the countertop cut to fit and plumb. Appears to have been added for the heavy granite top installation.

CONCERNS:

1. Have appliance technician evaluate the oven door; drop hard and does not seal properly.



Figure 10 Have outlet repaired by electrician; shock hazard.

LAUNDRY : Clean the dryer vent yearly or more for fire safety.

MASTER BATH: Clean fan periodically to maintain lint free. The jetted tub had a clean-out or blowout cycle that starts a period of time after tub has been drained; will make noise during this cycle.

MAIN BATH 1st FL By OFFICE : There is floor damage on wood flooring and water stains to left of pedestal sink. The stains tested dry; monitor for plumbing leaks from fixtures in room. The tub was painted white; will continue to scrap or peel over time or in contact with sharp objects.*

BATH BEDROOM #2 GOLD: Toilet took two tries to make toilet flush; may not have been used in a while.** If continues to have flush slowly, have a plumber evaluate.

BATH MAIN (GOLD ORNATE) : This floor was raised when renovated; use caution not to trip.

FOYER 1st FL: There is a hump that runs the length of the hallway. There were questionable repairs in basement below this area. See basement structural comments.

LIVING ROOM FORMAL : (Framed chimney) There is a gas fireplace in this room; did not turn on with knob. Recommend having turned on and add flue clamp for safety. The window to left of fireplace has upper sash that drops on its owns; have adjusted for hand /finger safety.*

FAMILY ROOM (brick chimney) : The lock on slider door was broken; stick keeping door closed. Have lock smith or door installer evaluate and repair. There is a gas fireplace in this room; knob turns it on. The gas fireplace had heavy soot and cracked log; have fireplace store/company evaluate and make repairs. There was soot on exterior chimney chase; have chimney contractor evaluate chimney and fireplace. Recommend a flue clamp for safety. Consider upgrading the logs and controls; safety features and remote. The fan did not go on with wall switches; further evaluate and retest. There is some floor damage; digs and moisture stains. There is floor molding separation and sloped flooring as well as throughout home. See structural comments "basement."

FOYER 2ND FLOOR : Flooring in room as below is sloped and a hump along the length from front of house. There are patched floor boards or repairs. See basement section comments- structure.

#2 BEDROOM /SITTING ROOM GOLD: (with bathroom) The front right window facing house was found in a tilted or misaligned position with upper sash dropped. Windows would not match up and close properly. Have a window installer evaluate and repair.** Ask if windows are under warranty and if transferrable. The roof off the front appears newer; rolled roofing. The windows screens are torn; have replaced. There were floor board repairs; square outline where replaced and cut out.

#4 BEDROOM FROTN LEFT : This room has access to the roof balcony; use caution with small children present. The door to balcony was canted or gaps around door frame. There is thick carpeting with a hump; movement when walking across the floor. Floor is very uneven; have carpenter evaluate further.

GAME ROOM : Roof access limited to the knee wall area by air handler.

II. GUEST HOUSE

KITCHEN GUEST : Have all the features such cleaning, timers, etc. checked before closing.* The dishwasher was not secured to the underside of counter top; have secured. Have electrician correct outlets where not flush or recessed into walls for safety. Seal granite countertops at least twice a year to maintain.

MAIN BATH 1ST FLOOR : The shower stall was made of bead board and junctures were open; water/moisture can get behind these walls. Recommend upgrading shower stall; check for water and mold damage when upgrading. Do not use shower until properly caulked or upgraded. The sink drained very slowly; have plumber check drains.

MAIN BATH : There was corrosion under the sink; have plumber evaluate and upgrade where needed.

MASTER BEDROOM GUESTHOUSE 2ND FLOOR : This second floor was finished; not access to roof structure. There was a sealed panel by front window; have opened and check inside.

#2 BEDROOM/OFFICE GUESTHOUSE 1ST FLOOR : There were vapor seal breaks and cracked glass on windows in this room. Windows in kitchen/dining area were sweating; indication of thermo vapor seal loss. Have window installer evaluate all window sin home. Windows were older and hazy or condensate between panes and on inside of glass; lose their thermal vapor seals as they age. Consider adding tamper resistant outlet in rooms if small children living in home for added safety. Closets in this guesthouse were cold; recommend adding louver doors to storage areas that are not heated.

CONCERNS:

1. Have window installer evaluate windows and make replacement/upgrades where needed.

LIVING ROOM GUESTHOUSE : Add railing on lower steps for safety. The furnace thermostat is in this room; older type. Change batteries at least yearly. Ask if there is a remote for the ceiling fan; unable to test. The slider leads to the deck; keep snow off deck to avoid water seepage.

PLUMBING: The hot water heater was old or approximately 12+ yrs. old. Typically life expectancy is ~10 yrs. and shorter if hard water in home. Recommend replacing hot water heater as preventative measure should unit fail, leak and flood the guesthouse. Have the plumber evaluate for new tank and evaluate the drains; slow in bathroom 1st floor. There was rat dropping around the furnace and hot water heater. Have gaps reduced in shop and in the guesthouse; upgrade doors and weather seals, seal or repoint all foundations and walls to avoid entry points for rodents.

SHOP ROOM : The shop had leaking roof; water puddles on flat surfaces, floor, walls and heavy efflorescence on concrete blocks and stone walls. The ceiling had water stains and active leaking. Roof was in poor condition; see roofing section comments. Water was ponding all around the building from scuppers discharging on ground below. There were mud daubers everywhere in shop, attic main house and outbuildings. There were abandoned pipes on rear wall; further evaluate and seal to keep out insects or rodents. The electric in shop was corroded; conduits, BX cables, wire trays, electrical boxes, outlets, switches, etc. The front main panel had a 30 amp feeder breaker to Garage; recommend upgrading power to garage. See garage section electrical comments. There were two sub panels in room behind the guesthouse bedroom/office #2. The first panel had too many breakers in panel; have evaluated.* Panel is approximately a 30amp panel. The second panel was to left on rear walls; mainly had the A/C and electric oven breakers. Have all panels in Guesthouse and Shop evaluated along with the shop electric. Recommend GFCI outlets in shop for safety. The rear wall sub panel had two breakers off; further evaluate reason. Have electrician evaluate all multi-wire branch circuits for safety ties. There were more than one neutral per terminal screw; have separated for safety. Recommend a licensed electrician evaluate entire electrical system and distribution and make upgrades; electrical shock hazards exist. There right stone wall had sealed up door; outline visible. There were cracks, gaps and missing mortar on stone and concrete walls; have a mason or building contractor evaluate and repoint all walls. There was a crack on rear walls; have evaluated and properly repaired. See exterior section comments. The right side door & windows had rot; have all windows and doors evaluated and replaced/repared.

CONCERNS:

- 1. The electric in shop was corroded; conduits, BX cables, wire trays, electrical boxes, outlets, switches, etc. Recommend GFCI outlets in shop for safety. The rear wall sub panel had two breakers off; further evaluate reason. Recommend a licensed electrician evaluate entire electrical system and distribution and make upgrades; electrical shock hazards exist.**

WINDOWS/FIREPLACES/HALL/ATTIC: There was no access to main roof structures in the guest and main house; finished attic or upper rooms. There was only a small area accessible to the air handler in main house; limited view of roof structure. Many window frames were rotted on exterior; have a carpenter or building contractor evaluate extent of all damage on exterior and make repairs. Have a siding contractor evaluate the exterior siding and advise on all repairs and preventative measures. Flashings and wood trim wrapping is recommended to help protect the wood from reoccurring water damage. There were broken vapor seals on guest house windows; have window installer evaluate and make replacements. There were some windows in main house (possibly Pella brand) that dropped upper sashes; hand & finger safety hazards. There was a window in the 2nd floor front right sitting room/bedroom (Gold color) that had misaligned window sashes found tilted and open at top. This window does not fit properly and cannot close. Have a window installer evaluate all windows and make replacements, adjustments or repairs where needed. Ask if any windows are under warranty and if transferrable. Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is always recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. See chimney section comments. There was a cutoff PVC plumbing vent in attic knee wall; needs to vent to outside for safety. There was powder post beetle damage on heavy timber in knee wall area by A/C air handler. Have licensed pest company treat all damage.

CONCERNS:

- 1. Have a window installer evaluate the vapor seal breaks in guesthouse. In main house there were broken counter balance (drop on their own), misaligned upper & lower sash and broken slider door lock in family room. Have a window installer evaluate all windows and make replacements, adjustments or repairs where needed. Ask if any windows are under warranty and if transferrable.**
- 2. Have licensed plumber evaluate the cutoff plumbing vent in the knee wall; unconventional/safety concern.**



Figure 11 Example of vapor seal breaks on guesthouse windows; older thermo pane type. Have a window installer evaluate all windows and make repairs/replacement where needed.



Figure 12 (A) Plumbing vent terminates in attic knee wall by air handler; have plumber evaluate and advise on corrections. (B) example of powder post beetle damage/frass. See basement and structure comments.

BASEMENT(Structure Deficiencies & Seepage) : Coat hooks are near eye or head level when going down the basement stairs; have raised for safety or remove. Consider a higher child lock in kitchen on basement door for small child safety. There is a height difference at top of basement steps in kitchen; slip/fall hazard. This should be level for safety and non-slip tread tape on edges. Add railings on steps for safety. The stringers need to be cut at bottom; trip hazard. The basement landing on right side does not have a step or railing; have installed for safety. Recommend more ventilation in front room by well storage tank; high humidity and water seepage. The metal supports under front steps were corroded/deterioration/flaking metal; have these structural supports evaluated by structural contractor. There was evidence of termite damage, power post/wood boring beetle damage and carpenter ant frass in basement on beams, joists, sub-flooring, wood in front basement, etc. Have extent of all wood destroying insect damage determined by a structural carpenter and advise on repairs. There were repairs in basement and crawl space. Supports were not under junctures where mortise & tenon separated and sagging joists and beam(s); deficiencies still exist. There were temporary screw jacks and handyman repairs. Much of the flooring above on all floors were sloped, uneven and humps. Have a structural engineer or qualified structural contractor or building contractor evaluate repairs, structure in home and advise on all structural repairs. Basement had water coming down walls and onto floor and crawl space had moisture, wet spots and efflorescence in these areas. Gutters or roof drainage systems as well as grading and drainage need to be addressed and measures done to control water seepage. There were a few sump pumps that were sealed; radon mitigation running in home. Sump pumps were not tested; seals cannot be tampered with when mitigated. Check sump pump to see if running during a rain storm; if not have replaced and reseal the sump lids. One of the lids had an opening in crawl space; possibly for a dehumidifier. Recommend a dehumidifier in crawl and tube to this hole (seal up). Recommend a sump pump with battery back-up and or other water management system for preventative measures should basement get wet or flood. Have wet basement damp proofer contractor evaluate for system(s) to maintain a dry basement. Basement shows signs of water penetration, seepage or wet conditions. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Recommend “battery backup sump pumps” or “water-powered back-up sump pumps” should there be power loss to home. Due to recent storms and extended power loss; recommend using a generator. The home and other structures were wired for generators; ask if the generators are staying with the home. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Gutters on all structures need to be replaced and added where missing; poor condition. Recommend cleaning and maintaining gutter and leaders for proper water drainage.

CONCERNS:

1. **Basement had water coming down walls and onto floor and crawl space had moisture, wet spots and efflorescence in these areas. Gutters or roof drainage systems as well as grading and drainage need to be addressed and measures done to control water seepage.**
2. **There is a height difference at top of basement steps in kitchen; slip/fall hazard. This should be level for safety and non-slip tread tape or edges. Add railings on steps for safety. The stringers need to be cut at bottom; trip hazard. The basement landing on right side does not have a step or railing; have installed for safety.**
3. **The metal supports under front steps were corroded/deterioration/flaking metal; have these structural supports evaluated by structural contractor.**
4. **There was evidence of termite damage, power post/wood boring beetle damage and carpenter ant frass in basement on beams, joists, sub-flooring, wood in front basement, etc. Have extent of all wood destroying insect damage determined by a structural carpenter and advise on repairs.**
5. **There were repairs in basement and crawl space. There were handyman repairs and temporary screw jacks; improper. Supports were not under junctures where mortise & tenon separated and sagging joists and beam(s); deficiencies still exist. Much of the flooring above on all floors were sloped, uneven and humps. Have a structural engineer or qualified structural contractor or building contractor evaluate repairs, structure in home and advise on all structural repairs.**



Figure 13 Have a contractor or carpenter repair the uneven heights between the kitchen floor and the wood just inside the basement at top of steps. Add railings for safety, and on basement landing to right; safety hazard. Have stringers trimmed at bottom; trip hazard.



Figure 14 Lower landing unsafe; no railing or step to right side. Recommend railing on all steps.



Figure 15 Corroded metal floor supports under front steps in well storage room. There was termite damage on wood in front room.



Figure 16 Termites damage sills, joists, sub-flooring in basement. Have structural carpenter determine the extent of damage.



Figure 17 Termites damage sills, joists, sub-flooring in basement. Have structural carpenter determine the extent of damage.



Figure 18 Example of powder post beetle damage. Have a structural carpenter determine extent of all wood destroying insect damage before closing.



Figure 19 Have all structural repairs evaluated by a structural engineer or qualified building contractor before closing. There were structural concerns and handyman repairs.



Figure 20 Handyman repairs; have structural engineer evaluate repairs and structure and advise on all needed structural repairs.



Figure 21 Improperly repaired structure in basement; handyman or improper.



Figure 22 Have structural engineer or qualified building contractor evaluate repairs and structure in home.

CRAWL SPACE : There is a sump pit in crawl space; add sump pump for added safety measure. There was efflorescence on walls, water on floor, wet or damp walls; have drainage & grading and gutters addressed on exterior. Recommend a dehumidifier in crawl and basement for moisture control. Have structural engineer or building contractor evaluate structure, repairs in basement and crawl space and advise.

CONCERNS:

1. There is water seepage and efflorescence on walls in crawl space; have grading & drainage and gutters addressed on exterior.
2. There were structural repairs in crawl and basement; some were improper and not catching under Mortise & tenon unions. Have a structural engineer or building contractor evaluate all repairs and advise.



Figure 23 Seepage in crawl space and vents were closed with foam. Moisture needs to be removed; correct grading & drainage, gutters and installer dehumidifier.



Figure 24 Water coming into basement; seepage.



Figure 25 Water coming into basement; seepage.



Figure 26 Water coming into basement; seepage.

PLUMBING: The home has been vacant. Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time especially with well water. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. There was corrosion observed on plumbing; upgrade where needed. Have plumber upgrade older plumber in home as needed. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. Have plumber check the slow drain in guesthouse and the plumbing vent in the main house attic. Recommend replacing the old hot water heater in the guesthouse. Home has a septic system; follow-up with the inspection company for their inspection report.

CONCERNS:

1. Have plumber evaluate plumbing and upgrade or repair where needed.

HEATING: The boiler is a high-efficiency Vitodens 200 and is Viessmann stainless steel Inox-Radial heat exchanger with a MatriX cylinder burner. This is a gas-fired condensing boiler that is high efficiency designed to work together to achieve the greatest heat extraction with minimal loss. Recommend obtaining the original owners manuals and have service performed yearly or as directed by the manufacturer. These are designed to heat large spaces with energy conservation and new technology. This product or company has main home base in Canada. Check with all documentation and manufacturer's warranty to see if lifetime warranty applies. This boiler is used for the indirect fired domestic hot water heater; see plumbing section. Obtain all documentation and warranty; ask if transferrable. There was some corrosion on a copper pipe above boiler; have plumber evaluate.

CONCERNS:

1. Have plumber check corrosion above boiler on copper piping.
2. Obtain all documentation, manuals, closed permits for installed boiler and indirect fired hot water heater.

COOLING : It is too cold to test A/C units; cannot be tested in cold weather to avoid damaging the compressors or condensing units. The A/C units are all very old and near or past expected lives. Have an HVAC contractor evaluate and advise on replacing or budgeting for new ones.

ELECTRICAL: There was a sub panel with smaller conductors on main lugs. Panel was full and may have too many breaker for the conductor size; have electrician evaluate for safety.* Obtain all closed permits for panels. See Shop section electrical comments; shock hazards and deficiencies exist. All electrical in shop should be upgraded; unsafe. Home needs electrical upgrades throughout home, garage and exterior. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fir safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such as sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

1. Have licensed electrician evaluate all electrical concerns and safety hazards in home and outbuildings.

END OF SUMMARY.

REPORT OVERVIEW

THE HOUSE IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems serviced regularly and maintained.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt attention now

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repair, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. **If you are not satisfied with a visual inspection, it is recommended to engage in those services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection.** This is under the law in the **New Jersey Standards of Practice 13:40-15.16** for a licensed home inspector in the state of New Jersey.

.We Always Miss Some Minor Things

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty.

GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*
Material: stone, brick/pavers Large gaps between bluestone walks- trip hazard
Condition: Satisfactory Marginal Poor *Trip Hazard*
 Pitched towards home *Settling* Not visible Typical cracks

DRIVEWAY/PARKING None
Material: Concrete Asphalt Snow & ice covered
Condition: Satisfactory Marginal Poor Fill cracks and seal
 Pitched towards home *Trip hazard* *Settling Cracks* Typical crack

PORCH (COVERED ENTRANCE) raise front porch- concrete & bluestone
Support Pier: Concrete Wood Not visible Other
Condition: Satisfactory Marginal Poor *Railing/Balusters recommended*
Floor: Satisfactory Marginal *Repoint mortar on bluestone* *Safety Hazard*

STOOPS/STEPS None *Uneven risers*
Material: Concrete/Brick Wood, main house Other *Railing/Balusters recommended*
Condition: Satisfactory Marginal Poor *Cracked* *Settled*
 monitor for rot- wood in contact soil or ground *Safety Hazard*

PATIO None
Material: pavers Flagstone Kool-Deck® snow cover
Condition: Satisfactory keep snow off patio *Settling Cracks*
 Pitched towards home (See remarks page) Drainage provided Typical cracks

DECK/BALCONY (flat, floored, roofless area) Deck on 2nd Floor access Guesthouse
Material: Wood Metal Composite Not visible *Railing/Balusters recommended for safety*
Finish: Treated Painted/Stained Other
 Improper attachment to house *Railing loose*
Condition: Wood rot, soft wood Marginal Very old *snow covered*

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*
FENCE/WALL Not evaluated in a home inspection None

LANDSCAPING AFFECTING FOUNDATION (See remarks page)

Negative Grade: East West North South Poor grading & drainage around structures and on property- water streaming in ruts and poorly functioning gutters
 Recommend additional backfill *Recommend window wells/covers*
 Trim back trees/shrubberies; remove where too close to structures or buildings
 Wood (deck, siding/trim/door frames) in contact with/improper clearance to soil Yard drains observed - not tested
 NOTE: Sink holes and other Geological issues are NOT part of a general home inspection

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None **Material:** pavers *Drainage holes recommended*
Condition: Satisfactory Maintain as needed *Safety Hazard* *Leaning/cracked/bowed*
(Relates to the visual condition of the wall)

HOSE BIBS None **No anti-siphon valve/frost -free- recommended**
Operates: Yes- water on guesthouse or outside spigots were on- need to turn off inside for winter & open up faucet to drain/winterize Have properly winterized to avoid freeze damage

GENERAL COMMENTS

GROUNDS: There was rot on front lamp post at main house; have addressed. There were several smaller shed or storage areas on property; these are "Pole Shed" kits and some have label of manufacture. The large shed across from stables have significant carpenter bee damage. Have all damage to sheds or outbuildings repaired. All wood and siding should have at least 6-8" clearance between them. Decking components (posts, stringers) were in contact with soil. Deck was built over stone foundation; wood in contact with soil and masonry. Deck was mainly snow covered; limited view. There was rot, cracks, rough wood, peeled paint, missing railings, loose railings, soft wood, etc. Have a carpenter or building contractor evaluate for upgrades; deck in marginal/poor condition. Seal & fill cracks on driveway where needed. The raised front porch needs repointing on bluestone & concrete mortar. There were some soft spot or rot on lower porch columns; have repaired where needed. Keep snow off front raised porch to avoid water damage. There were large gaps between the large bluestone walks; have spaces closed up or add stone dust to make level for safety. Small children or toes can trip with the large gaps. Keep snow off patio, walks and away from structures in winter to avoid seepage. There is a side basement steps on right side of house; recommend drainage at bottom and/or add cover /awning to keep water out of stairwell. There were ruts, holes, erosion, water streaming around structures and poorly functioning gutters. See gutter section comments. Recommend drainage & grading contractor evaluate around structures and advise on measures to control water concerns; streams and ponding everywhere. Basement had water coming down walls and onto floor and crawl space had moisture, wet spots and efflorescence in these areas. Gutters or roof drainage systems as well as grading and drainage need to be addressed and measures done to control water seepage. Property had poor drainage. Recommend maintaining a positive pitch of soil around foundation for proper water drainage. Stones, mulch and vegetation are not recommended around foundation; tends to trap water against foundation and cause wet basements. Trim back or cut away trees, shrubs and branches away from house. Remove trees and or branches too close to roof, structures and electrical cables/communication lines for safety. Overhanging trees and overgrowth can cause mechanical damage, moss, algae, attract carpenter ants, raccoons, squirrels or other animals. Recommend window well covers for all basement windows to keep out water, ice snow and avoid wet basement.

CONCERNS:

- 1. There were ruts, holes, erosion, water streaming around structures and poorly functioning gutters. See gutter section comments. Recommend drainage & grading contractor evaluate around structures and advise on measures to control water concerns. There was water streaming in ruts and water ponding around foundation and property; poor drainage. Basement and crawl had water coming down walls and onto floors.**

ROOF

ROOF VISIBILITY None- only edges (Snow) Partial Limited by: Angle, SNOW
COVERED/most

INSPECTED FROM Roof Ladder at eaves Ground (Inspection Limited) With Binoculars

STYLE OF ROOF
Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING SNOW COVERED ROOFS- LIMITED, *some view when snow melting over the day.*
Roofs had observed leaking & deficiencies that need a qualified roofer to evaluate before closing.

- Roof #1: Main house Type: *Asphalt* Estimated Layers*: *1** Approximate age of cover: *~15 yrs.*
- Roof #2: Guest & Shop Type: Rolled roof on front flat roof 1* Approximate age of cover: newer
Type: *-Asphalt* Estimated Layers*: *1+* Approximate age of cover: **very Old Most**
-Rolled/tarred(Shop) *Front lower section, newer than rest*
- Roof #3: Stables (edge only) Type: *Asphalt* Estimated Layers*: *1* Approximate age of cover: *~12+ yrs.*
- Roof #4: Garage (edges only) Type: *Asphalt* Estimated Layers*: *1** Approximate age of cover: **very OLD**

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM Type: Soffit Ridge Gable Roof
Appears Adequate: No Turbine Powered **More ventilation recommended**
(See Interior remarks page) (See Attic section)

Need more Ventilation to avoid ongoing mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage

FLASHING Material: Galv/Alum Asphalt Not visible patched/handyman
VALLEYS Not visible N/A Material: Galv/Alum Asphalt Lead Copper

CONDITION OF ROOF COVERINGS
Roof #1: Marginal Approximately 15 yrs. old Snow covered (house)
 Poor roof drainage systems/gutters causing exterior damage to siding, trims, wood exterior.
Roof #2: **Poor- leaking, Old, mixed ages, improper roofing on low slope** (guest/shop) Snow covered, partial melting
Roof #3: Snow covered, edge view only (stables)
Roof #4: **Poor, OLD** Snow covered, partial melted areas (garage)

Condition : Curling Cracking Ponding Burn Spots Broken/Loose Tiles/Shingles
(**poor many**) Nail popping Granules missing Alligatoring Blistering Sun damage, wear
 Moss buildup Exposed felt Cupping Wide keyways (cupped/curling/OLD)
 Multi-layer roof- not recommended Need more Ventilation to avoid mold, condensation, heat build-up, sheathing damage

READ THIS NOTE: All roofs if not in perfect **LEAK –FREE condition**, water can and will leak into a home, causing damage, and mold. Anything checked off above in conditions section must be addressed or corrected and evaluated by a

qualified roof prior to closing. Plan for yearly repairs and roof replacement. Obtain the roof warranty from sellers. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi-layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not striped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A Cracked/Broken Not visible Cloudy or overcast; limited visibility
PLUMBING VENTS Yes No Satisfactory Marginal Poor

Recommend roofer evaluate and advise on costs of replacements/repairs, ventilation and new gutters

Not Visible most due to snow- melted patches or edges only

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOFS: Have qualified residential/commercial roofer evaluate all roofs and advise on replacements/repairs, gutters & leaders and ventilation. Leaking roofs, leaking or inadequate gutters and poor ventilation were observed and causing water damage to structure (exterior-siding/trim/wood/cladding, foundation, seepage, etc.) Roof and gutters are important to protect the dwellings from water damage.

(Stable)- The Stable (horses) roof is approximately 12+ yrs. old and building was constructed approximately 2001. Obtain exact age from closed township permits. All roofs were snow covered, and some had melted pockets or edges during the day. The stable roof stayed snow covered and only edges visible; indicating an asphalt roof. Roofer should evaluate roofs as soon as snow is fully melted off structures. Since a roofer will need to evaluate the guest house & shop roofs as well as gutters and leaking on main house, have roofer evaluate all roofs on property.

(Guesthouse & Shop)- The guest house had a mix of roofing types (two or more asphalt products/styles) and shingles on lower pitch upper dormer in rear. Shingles are not recommended on roof pitch less than a 4/12 slope- *prone to leaks*). The front lower roof at guesthouse entrance was newer than the other roofs and a different style/type. It is not recommended to have multi-ages and types of roofing on home; roofs should be installed at same time for best protection. The majority of roof on guesthouse was very old asphalt tab roof. The flat roof over shop was leaking profusely during inspection when snow melting and began to have frozen rain. This roof was very old; coating or sealant was not done properly and peeling off roof. There were cracks, lifted seams, gaps, puckering, etc. and water pinging on roof. Scuppers were draining and no attached gutters to take water away from structure. Water was ponding on ground below flooding water against the foundations. Roof drainage system/gutters were not function as intended to protect the dwelling and shop. The attic was finished in the guesthouse and no access to roof structure. A small sealed/painted access panel in front by window; have opened up when accessible to inspect inside. Have qualified commercial/residential roofer evaluate these roofs for replacement/repairs, new gutters & rain leaders and ventilation (gable roofs).

(Garage)- The garage roof was older tab roof (edge view only due to snow) and no gutters. There were minimal or inadequate collar ties (see garage section structural comments) and plywood had been added as sheathing possible on last roof installation. There was visible lathe (horizontal) possible from a cedar shingle roof. There is a small roof over front of garage that still has the old cedar shingles. Recommend a qualified roofer evaluate roof for replacement/repairs/ add gutters & rain leaders (extend away 8ft+) and ventilation.

(Main house)- The roof was partially melted in spots as the rain began to melt areas. Roof gutter system was not functioning properly. The leaking gutters and improper exterior flashings were causing damage to exterior (siding, trim, window frames, and framed chimney chase). See siding section comments. Have a roofer and siding contractor evaluate for proper gutters or roof drainage system including proper flashings to avoid reoccurring exterior damage to wood cladding.

All roofs will need repairs at some point during the life of the roof; expect these and plan for them. Only a roofer should make repairs and not a handyman or non-roofer. Always check roofs after rains, high winds or severe weather including winter storms. Ice and snow build-up in gutters can cause leaks in the interior; keep gutters cleaned and flowing year round for proper drainage. Ice damming is generally cause by improper insulation and ventilation in attics; have this checked when roofs evaluated.

CONCERNS:

NOTE: Have qualified residential/commercial roofer evaluate all roofs and advise on replacements/repairs, gutters & leaders and ventilation. Leaking roofs, leaking or inadequate gutters and poor ventilation were observed and causing water damage to structure (exterior-siding/trim/wood/cladding, foundation, seepage, etc.) Roof and gutters are important to protect the dwellings from water damage.

1. **SHOP (attached to guesthouse)-** The roof over shop was in poor condition; older, patched/peeling/cracks/handyman repairs and leaking into the building. Water was ponding on flat surfaces and down walls/floor. There was heavy efflorescence on stone and block work walls; ongoing water concerns over the years. Have qualified roofer evaluate for replacement/repairs

Guesthouse- Roof had a mix of asphalt roofing and ages; lower front was most recent or newest. The main roof and upper dormer had old asphalt tab shingles. The dormer had shingles on less than 4/12 pitch roof; not recommended and prone to leaking on low slope roofs. Confer with roofer for other flat roof choices such as Modified Bitumen Membranes (various types- self-sticking, mop down, granule & smooth finishes, etc.) that are for low pitched roofing to avoid leaks. Have roofer evaluate guesthouse roofs along with the attached shop. Recommend adding more ventilation (soffit, ridge vents, etc.); poor ventilation on house will shorten life of roofs.

Garage- Roof is very old and no gutter; have roofer evaluate for replacement/repairs, ventilation and add gutters/rain leaders for drainage. The garage roof was missing collar ties and the mortise & tenon construction was racked or twisted; need a structural engineer and/or barn restoration contractor for this build period.



Roof peeling, cracks, puckered, gaps, patched, leaking into shop; poor condition.

Figure 27 Shop flat roof in poor condition; ponding water, cracks, peeled sheeting, lifted seams/gaps, etc. Have a qualified roofer evaluate roof for replacement/repairs and gutters under scuppers to drain water away from building.



Figure 28 Example of cracks on roof; leaking and poor condition/very old and patched.



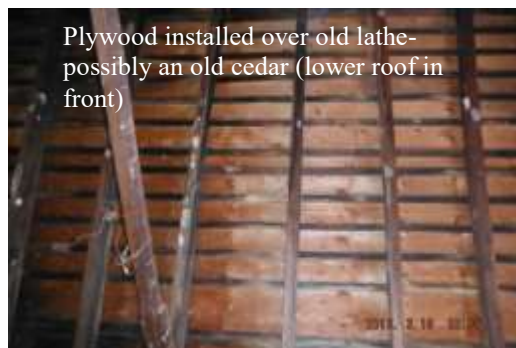
Figure 29 Low sloped roof appeared to be tab asphalt (view on edge of snow covered roof). Asphalt shingles on pitches lower than 4/12 are prone to leaks.



Figure 30 Garage had old asphalt roof. There were water stains visible inside from second floor; leaking.



Garage snow cover



Plywood installed over old lathe-possibly an old cedar (lower roof in front)



Stable snow cover

Figure 31 (A) All roofs were snow covered and only edges or small sections washed away during the time at home (9-5:35pm); limited vies in melted areas and on roof edges. (B) Visible plywood sheathing from 2nd floor; changed possibly at last roof installation. Have roofer evaluate for replacement/repairs, gutter installation and ventilation.



Figure 32 Snow cover; partial view during the day as snow changed to freezing rain. Recommend more ventilation on all roofs; poor or inadequate.

CHIMNEY/GUTTERS/SIDING/TRIM**CHIMNEY(S)** None Location(s): **left & right****Viewed From:** Roof Ladder at eaves Ground with binoculars**Note:** Chimney inspection is very limited during a home inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.**Rain Cap/Spark Arrestor:** No **Recommended large rain cap extend past chase to protect brick chase****Chase:** **Brick- moss, efflorescence** **Framed- rotted wood****Evidence of:** Holes in metal Cracked chimney cap Loose mortar joints Flaking **Soot****Flue/Liner:** Tile Metal **Unlined** Not visible**Evidence of:** Scaling Cracks Creosote **Not evaluated (See remarks page)** **Have flue(s) cleaned and re-evaluated** **Recommend Cricket/Saddle/Flashing****Condition:** Satisfactory/ Marginal **Poor- framed chase****GUTTERS/SCUPPERS/EAVES TROUGH** Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently. **Needs to be cleaned yearly or more often** **Downspouts missing****Material:** Copper Vinyl/Plastic Galvanized/Aluminum Other**Condition:** Poor **Replace & upsize- not draining properly & causing exterior damage on siding/cladding/trim****Leaking:** Corners Joints **Main run****Attachment:** Loose **undersized** **Improperly sloped (See remarks page)****Extension needed:** North South East West**Poor drainage/erosion:** **Poor drainage around house & all structures. Observed ruts, streaming water in ruts, erosion.****SIDING****Main house and Guesthouse****Material:** wood clapboard- main house concrete & stone foundation- Guesthouse
 Cracks **Wood rot** Peeling paint **Loose/Missing/Holes** **Chipped concrete**
 Cracks on rear wall of guesthouse & poorly prepared concrete block & mortar
 Recommend repair/painting **Damaged wood** **Leaking gutters- water damage****Note- Concealed behind Siding :** Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.**Condition:** Gutters causing exterior damage house and guest house Marginal Poor **Recommend repair/painting****TRIM, SOFFIT, FASCIA, FLASHING****Material:** Wood Fiberboard Aluminum/Steel Fiber Cement Stucco
 Recommend repair/painting **Damaged wood** **Leaking gutters- water damage** **Note:** Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.**Condition:** Recommend flashings & new gutters Marginal Poor **Recommend repair/painting****CAULKING****Condition:** Satisfactory Marginal Poor **Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed****WINDOWS & SCREENS** **Failed/fogged insulated glass- guesthouse****Material:** Wood Metal Vinyl Aluminum/Vinyl Clad**Screens:** Torn repairs needed Not installed Glazing/caulk needed**Condition:** Satisfactory Marginal **Wood rot** **Recommend repair/painting****WOOD STORMS
WINDOWS** N/A Not installed Wood Clad comb. Wood/metal comb.

SLAB-ON-GRADE/FOUNDATION N/A (See Basement/Crawl Space)

Stem Wall: Concrete block Poured concrete Other
Condition: Satisfactory Marginal- seepage/efflorescence Poor Not visible
Slab: Post tensioned Poured concrete Other
Condition: Satisfactory Marginal Poor (See comments page)

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM (Leaking & exterior damage): Gutters were in poor condition on home, guesthouse and missing on garage. Gutters were leaking and causing exterior damage and seepage around home, guesthouse and garage; poor condition. There was extensive damage on main house; siding, trim, chimney chase, wood details, etc. Lack of properly sized/functioning gutters and flashings have caused damage to these components. Have a siding and roofer/gutter contractor evaluate extent of all damage and advise on repairs, gutters and flashings. Recommend wrapping wood trim and flashings where possible to help protect wood from reoccurring water damage. Have contractor rule out concealed water damage & mold to structure due to extent of visible damage. There were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence form water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired (chipped or broken off) by a mason or building contractor. Gutters and rain leaders or downspouts are important for rainwater collections and distribution away from structure. Vegetation, grading surface drainage, rotted tree stumps among other forms of plant material is likely to adversely affect the home or dwelling adversely. Grounds are viewed during a home inspection from the perspective of how they may affect the home negatively. Homes can typical experience wet basements, crawl spaces and attract Wood destroying insect infestation as a result of negative grading, landscaping and soil too close to home and poor maintenance. Recommend chimney sweep clean/evaluate chimney. The framed chimney had extensive rot from water damage. The brick chimney had a lot of dark soot, efflorescence and moss. Have all chimneys evaluated by chimney contractor and siding contractor. Recommend chimney rain caps that extend past chase to protect chimneys from water and damage. Moss gives indication of water intrusion into chase or chimney. All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. The Internal elements of the chimney could not be evaluated and fall outside the scope of a visual home inspection. Internal defects and/or fire hazards often exist in any chimney of any age and especially in older structures. It is strongly advised that a Level II Internal chimney inspection be conducted in accordance with the National Fire Safety Standard (NFPA 211) prior to closing.

CONCERNS:

1. Gutters were leaking and causing exterior damage and seepage around home, guesthouse and garage; poor condition. There was extensive damage on main house; siding, trim, chimney chase, wood details, etc. Lack of properly sized/functioning gutters and flashings have caused damage to these components.
2. Have a siding and roofer/gutter contractor evaluate extent of all damage and advise on repairs, gutters and flashings. Recommend wrapping wood trim and flashings where possible to help protect wood. Have contractor rule out concealed water damage & mold to structure due to extent of visible damage.
3. There were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence form water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired (chipped or broken off) by a mason or building contractor.
4. Have all chimneys evaluated; damage and drafting concerns/heavy soot on brick chase.

Examples of exterior water damage/rot:



Figure 33 Guesthouse exterior water damage on side door and window units. Have window & door installer evaluate for replacement/repairs and flashings. Gutters need to be addressed on all buildings.



Figure 34 Leaking gutters and exterior siding/cladding rot.



Siding in contact with soil; need 6-8" clearance.







EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE**SERVICE ENTRY**

Underground Overhead *Weather head/mast needs repair* Condition: Sat. Marginal Poor
 Exterior outlets: Yes No **Operative:** Yes No *Overhead wires too low*
 GFCI present: Yes **Operative:** Yes No- guesthouse* *Less than 3' from balcony/deck/windows*
 Reverse polarity *Open ground* *Safety Hazard*

BUILDING(S) EXTERIOR WALL CONSTRUCTION

Type: Not visible, inside walls Framed Masonry Other
Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

Weather-stripping: Satisfactory Marginal Poor Missing Replace
Door Condition: Satisfactory Marginal Poor

EXTERIOR A/C - HEAT PUMP Location(s): outside

Unit #1 (Guesthouse) Brand: Trane approx. 2001 (12 yrs.), near or/at end of life Outside shutoff: Yes Tilted
 Unit #2 & #3 Brand: Lennox (two units Main house) Outside shutoff: Yes
 Condition: old units, 15+ yrs. Marginal Poor Rusted Level: Yes No, some
 Cabinet/housing rusted Condenser Fins: Have HVAC contractor evaluate Damaged base/pad/tilted

GARAGE 2ND STORY OLD MORTISE & TENON STRUCTURE**GARAGE W/ UPPER FLOOR**

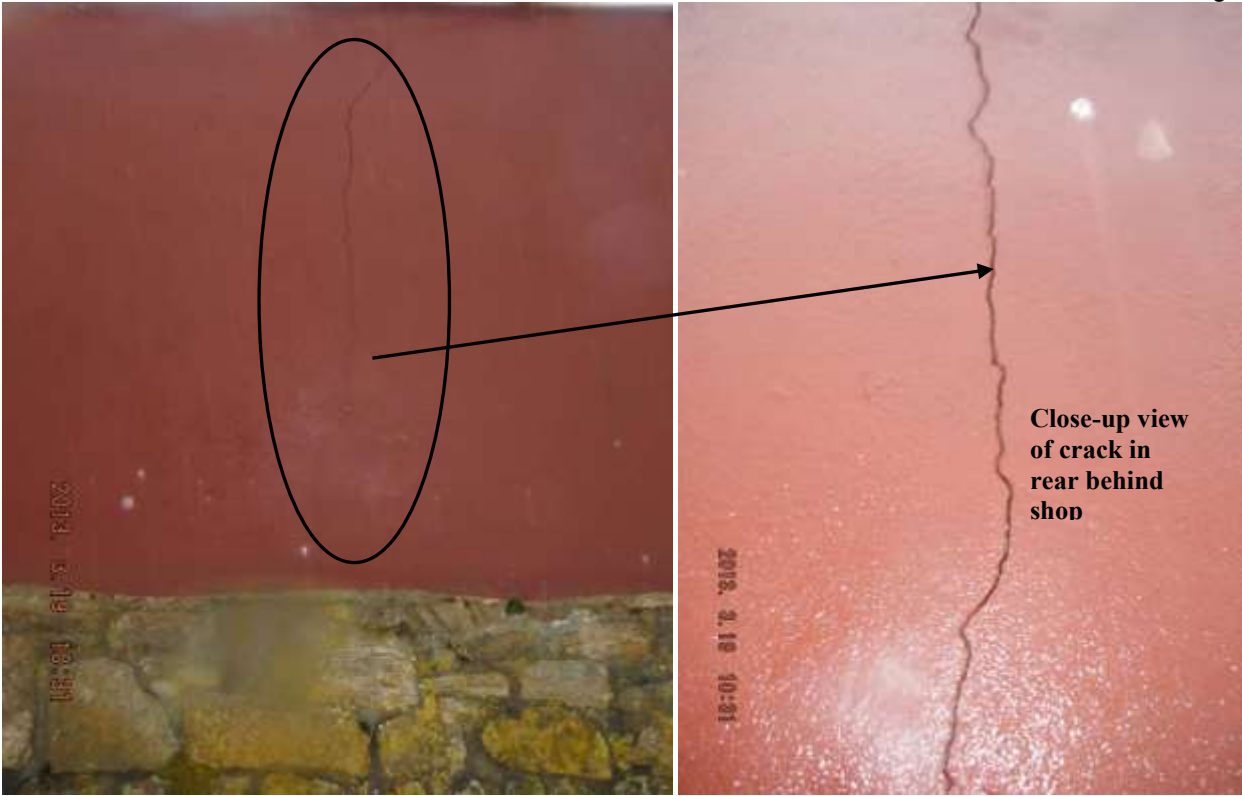
None Attached Detached 1-car 2-car one car in garage- stored
 Automatic Opener: Yes No Operable Inoperable Remote not available
 Safety Reverse Operable: N/A Pressure reverse Electric eye Need(s) adjusting Safety hazard
 Roofing Material: Asphalt- old roof
Gutters : None Satisfactory Marginal Poor
 Siding: Wood Water & wood destroying insect damage
 Trim: Wood Water & wood destroying insect damage
 Floor : Material: Gravel car parked in garage, 4x4 terrain vehicles, equipment, storage, paint, etc.
 Condition: Satisfactory add gravel where needed *Recommend evaluation/repair structure*
 Burners less than 18" above garage floor: N/A Yes No Safety hazard
 Sill Plates : Floor level Elevated on stone & concrete *Rotted/Damaged heavy timber* *Recommend repair*
 Swing out doors: N/A Wood Fiberglass Masonite Metal *Recommend repair*
 Marginal/poor *Overhead door hardware loose*
 Recommend Painting Inside & Edges: Yes No Recommend lubrication Weather-stripping missing/damaged
 Exterior Service Door: None Satisfactory Marginal Poor Damaged/Rusted
 Electricity Present: Yes No Not visible GFCI Present: No **Operates:** Yes No
Reverse polarity: Yes No Open ground: Yes No *Safety hazard – recommend GFCI protection in garage- wet area*
 Handyman/extension cord wiring
 Firewall (*Between garage & living area*) : N/A Present *Missing*
 Satisfactory *Safety hazard(s)* *Recommend repair* *Holes walls/ceiling*
Fire door: Not verifiable *Not a fire door* *Needs repair* Satisfactory
 N/A Satisfactory Inoperative Missing *Needs repair*
Moisture Stains Present: Yes roof sheathing, under floor, walls Typical Cracks: Yes No

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE : There were some outlets not tripping on exterior guesthouse; have electrician evaluate. There was a radon mitigation system near the brick chimney (fan was running). The A/C units were very old at or past expected lives. A/C for guesthouse was approximately 12+ yrs. Trane old and the 2 Lennox units for the main house were approximately 12+-15 yrs. old. All units were older and typical life expectancy is approximately 12-15 yrs.; plan on replacements. These systems cannot be tested in winter; need to be tested when seasonal temperatures (60-65F for ~3 consecutive days & nights) to avoid damaging compressor(condensing units). Have an HVAC contractor evaluate A/C units and advise on remaining life or replacements due to old age. There were structure cracks on foundation and walls of the guesthouse and shop. A lot of the stone foundation has moss and efflorescence from water contact or seepage; have cleaned off before mason repairs stonework. Have a structural contractor, builder or engineer evaluate all structural cracks, stone foundation and mortar joints and advise on all repairs. Have all stonework or foundations and the concrete or masonry walls need repointing (gaps, cracks, unfilled/ improperly prepared) and parge coat repaired (chipped or broken off) by a mason or building contractor. All utility lines, communication or cables should be sealed at structure penetrations to keep out water, rodents and insects. The sub panel is very old and only 30amps; feeder breaker in shop. See shop section comments. Electrical in shop needs major upgrades for safety. Recommend electrical evaluate this panel to see if more power needed. Recommend adding outlet son second floor; none visible. All outlets in garage should be GFCI protected and tamper resistant for child safety. Recommend upgrading the feeder to garage; only a 30amp feeder (from shop) to sub panel in rear right corner. Sub panel is very old, taped cover, rust; have evaluated for upgrade and more power to garage. The garage roof is very old and no gutter; have roofer evaluate for replacement/repairs, ventilation and add gutters/rain leaders for drainage. There was a lower roof that had cedar shingles; splits, drying cracks, weathered, deterioration, etc. There were water stains on the underside of second floor viewed on garage 1st level. Have roof evaluated by qualified roofer; see roofing section comments. The garage roof structure was missing collar ties and the mortise & tenon construction was racked or twisted. The joints had gaps, separation, slipped out of original connections, cracks, warped, etc. Supports or columns had moved and some ends slipped and not secured in place. There is an overall twist or racking of the structure; deficiencies or defects exist. The walls were not square and pushed out as viewed inside garage and on exterior; unstable. Recommend a barn/garage mortise & tenon restoration contractor evaluate and advise on all repairs or course of action. Check sources for restoration and compare contractors and reputations (example- www.amishtimberframers.com "Amish Timber Framers" and *other contractors* experienced in pole barns or post & beam and antique mortise & tenon structures). There was rot (water and insect) on wood siding, frames, trim, stringers, entrance/timber sills or threshold, garage swing out doors, etc.) have extent of all damage determined and repaired. There was powder post beetle damage on the heavy timber door threshold on man door to right of garage doors. Timber is damaged and loose or not attached. Recommend treatments for powder post beetle and carpenter bee, carpenter ant by a licensed pest company. Wood sills were on a stone& concrete support. Have a structural mason and/or the barn restorer contractor make repairs to these structures; gaps, cracks, missing mortar, etc.

CONCERNS:

1. **Have all stonework (foundations, privacy walls, retaining walls, etc.) evaluated for repairs/repointing. Have the shop walls (Block or CMU) evaluated by structural contractor or engineer; vertical cracks visible and inside shop had mortar gaps/cracks/unfilled or improperly repaired). All utility lines, communication or cables should be sealed at structure penetrations to keep out water, rodents and insects.**
2. **There is a door on second floor that is opened does not have a platform or balcony; extremely dangerous. Have door nailed or bolted closed to seal off for safety.**
3. **There is an overall twist or racking of the structure; deficiencies or defects exist. The walls were not square and pushed out as viewed inside garage and on exterior; unstable. There was powder post beetle, termite, and carpenter bee/ant damage or evidence observed; have treated by licensed pest company and all damage repaired. Recommend a barn/garage mortise & tenon restoration contractor evaluate and advise on all repairs or course of action.**



OUTBUILDINGS**STABLE 18 STALLS HORSES****LANDSCAPING AFFECTING FOUNDATION** (See remarks page)

Negative Grade: East West North South Grading & drainage around building was poor*
 Recommend additional backfill Recommend perimeter drainage Trim back trees/shrubberies
 Wood in contact with/improper clearance to soil Yard drains observed - not tested. Unknown how many on property since ground had snow cover

NOTE: Sink holes and other Geological issues are NOT part of a general home inspection

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

LOCATION:

Walls & stalls: Satisfactory Marginal, some horse chewed areas repair where damaged
Moisture stains: Yes Where: siding, trim, stall window frames
Floor: typical stable floor- Marginal Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: Box fans not recommended- have electrical evaluate for ceiling fans or other ventilation
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

WATER SERVICE PLUMBING**Main Shut-off Location:**

All homes & buildings will have plumbing repairs/upgrades at some point- monitor plumbing

Water Entry Piping: 1 well water spigot/hand pump per stall Copper/Galv.
 Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown
Visible Water Distribution Piping: Copper Galvanized Plastic* (PVC, CPVC, Polybutylene, PEX) Unknown
Condition: Satisfactory Marginal Poor
Lead Other Than Solder Joints: Yes No Unknown Service entry
Functional Flow: Adequate Low Poor Water pressure over 80 psi; high
Pipes, Supply/Drain: Corroded Leaking monitor for leaking or frozen pipes
Drain/Waste/Vent Pipe: N/A Cast iron Galvanized PVC ABS
Condition: N/A **Cross connection:** N/A **Support/Insulation:** Type: --
Traps Proper P-Type: N/A Yes No; some S-type or other P-traps recommended
Functional Drainage: N/A Poor Recommend plumber evaluate
Interior Fuel Storage System: No
Fuels tanks - Other: Exterior "2" Diesel tanks behind stone wall across from stables by Guest House Leaking: No
Gas Line: N/A Brass Black iron Stainless steel Flexible CSST (yellow) Not visible
Condition: Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

SERVICE ENTRY

Underground Overhead Weather head/mast needs repair Condition: Sat. Marginal Poor
Exterior outlets: Yes Hay bales- inaccessible **Operative:** Yes No Overhead wires too low
GFCI present: Yes No **Operative:** Yes inaccessible Less than 3' from balcony/deck/windows
 Reverse polarity Open ground Safety Hazard

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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BUILDING(S) EXTERIOR WALL CONSTRUCTION

Type: Post & Beam- unknown manufacturer- approx. 2001. Check with twp. for exact date of build.
 Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

Patio Storm Entrance
 Weather-stripping: N/A Marginal Poor Missing Replace
 Door Condition: Satisfactory Marginal repair wear & tear, rot

GUTTERS/SCUPPERS/EAVES TROUGH

Dirty, clogged or poorly maintained gutters will cause leaks into interior, damage siding, trim and window frames. Clean often and checked frequently.
 Needs to be cleaned yearly or more often Downspouts missing
 Material: Copper Vinyl/Plastic Galvanized/Aluminum Other
 Condition: Satisfactory Marginal Poor Rusting
 Leaking: Corners Joints Main run Ice & snow filled
 Attachment: Loose Missing spikes Improperly sloped (See remarks page)
 Extension needed: North South East West

SIDING

Material: Wood, vertical Repairs needed
 Cracks, splits wood-soil contact Wood rot Peeling paint Holes
 Note- Concealed behind Siding : Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.
 Condition: Satisfactory Marginal Poor Recommend repair where rot or damage

TRIM, SOFFIT, FASCIA, FLASHING

Material: Wood Fiberboard Aluminum/Steel Fiber Cement Stucco
 Recommend repair where wear & tear Damaged wood Metal/vinyl Other
 Note: Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.
 Condition: Satisfactory Marginal Recommend repair where wear & tear

ELECTRICAL

MAIN PANEL Location: front room Condition: Satisfactory Siemens Brand
 Twp. Sticker 2001/sign off '03
 Adequate Clearance To Panel: Yes No Amperage: 200 Volts 120/240 Breakers breaker tripped*
 Appears Grounded: Yes No Not visible
 G.F.C.I. present: Yes No Operative: Yes No
 A.F.C.I. present: Yes No Operative: Yes No
 MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
 Tapping before the main breaker Double tapping of the main wire
 Condition: Satisfactory Poor Federal Pacific Panel Stab Lok® (See remarks page)*
 Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
 Condition: Satisfactory Poor Recommend electrician evaluate/repair*
 Romex BX cable Conduit Knob & tube**
 5th CB on bottom left was buzzing and tripped*
 Multiple extension cords plugged everywhere in stables- overloaded circuits. Have a licensed electrician evaluate tripped breaker.*
 Have electrician access power requirements and add more outlets where needed for safety.
 Read REMARKS addendum to report- "tripping breakers"

GENERAL COMMENTS

18 STALL HORSE STABLE : The 5th 20 amp circuit breaker on bottom was buzzing and tripped when looking at the main panel. The breaker was labeled outlets and all stables had numerous extension cords plugged into outlets. Have electrician evaluate breaker and add more power or outlets where needed. Extension cords, multipliers and power strips should not be used to avoid overloading circuits; fire hazard. There is indication of multi-wire branch circuits (MWBC). These share a neutral and if one breaker trips, it is a good practice to have a handle tie to avoid potential arcing for fire safety and electrical shock safety should the neutral be disconnected. A handle tie would trip the other breaker simultaneously to make sure the current from other leg of the multi wire also stops flowing through the neutral; avoid arcing for fire safety. It was a common practice to have MWBC in construction until recently. It is now a common electrical practice to have a common trip breaker (internal common trip or with handle ties) when multi wire branch circuits are present. Again common past practices to bring power to areas close to one another while keeping costs down.* There is always a potential for overloads especially where serving large areas or long home runs of wiring for loads of general lighting and electrical receptacles. There is potential for main panel to have an imbalanced load that can manifest in electrical noise, buzzing or dimming lights when multiple devices used in the building. A licensed electrician can best evaluate and advise on any measures needed to safe guard against any potentially unsafe condition and advise on any status changes required by Local Township regarding multi wire branch circuits and verify its presence. Checking voltage potentials and other electrical testing can only be done by licensed electricians and beyond the scope of a general home inspection; therefore not verified. The uses in this building may vary from owner to owner. If more power is required, discuss needs with a licensed electrician and have installed. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Equipment, heaters or heavy draw items should be on separate dedicated circuits. There was overall low lighting in stables; discuss lighting options with electrician. There was a damaged outlet mounted outside a stall approximately half way down center. Have electrician evaluate and repair. Use caution with tractors or vehicles in stables to avoid damage. Have covers replaced where damaged. There was generator hook-up on stables; ask if any generators staying with property. There were several box fans or portable fans in stables. Confer with a ventilation contractor for more permanent solutions or options to cool or ventilate the stables in warm/hot weather. Consider adding shaded trees around structures (properly spaced away from building) to help shade building in hot weather. Recommend proper lighting near the main electrical panel for safety and for electrician servicing the load center. The "Post & Beam" stable appears to be 12+ yrs.; obtain all closed permits for exact age of construction and retain copies with house papers. Ask if structure has any transferrable warranty with structure and the manufacturer (ex. Morton, Yankee, Horizon, Amish Barn Co., etc.). Check with owners or the township to find out the manufacturer's name and contact information. The siding, trim, and posts had wear & tear, drying cracks and some damage (water, rot, or mechanical); have repaired where damaged or worn. The stable doors were rusted; have painted or rust inhibitor to protect metal. There were numerous dug out areas or holes around and under the structure; have filled in and pitch away from structure for drainage. Make sure siding or any wood does not come in contact with soils. Siding should have at least 6-8" clearance between siding and soil. There were drainage concerns around this structure as well as the garage and main house. Gutters were filled with ice and snow; consider having Gutter Heating Cables installed with automatic thermostats to avoid clogged gutters and water damage. There were horses in some of the stables at time of inspection as well as hay, farm vehicles, tools, equipment, fans, array of strewn extensions cords, stall flooring/boards, etc.

CONCERNS:

1. A 20 amp circuit breaker on 5th up on bottom left panel (labeled outlets) started to buzz and then tripped when looking at the panel. There were numerous extensions cords plugged into each other from stall to stall and into outlets; over loaded and fire safety hazard. Have a licensed electrician evaluate breaker and requirements needed in stables and add power or outlets where needed. Do no use extension cords for safety.
2. Have the electrician confirm presence of multi wire branch circuits and any requirements if in effect by Local Township for need to have common trips or handle ties due to shared neutrals on circuit breakers. Extra precautions or adding these safety features is always recommended when MWBC's are present even if not required for added safety measures. Have electrician check the panel for any imbalanced loads.



Figure 35 Breaker buzzed and tripped. Numerous extension cords and devices plugged into outlets in stalls; overloaded/fire safety concern. There was a damaged outlet mounted on outside of a stall approximately half way down center.

I. MAIN HOUSE**KITCHEN****COUNTERTOPS**

Satisfactory Marginal *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory tiled Poor Sloping Squeaks

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers for leaks, damage & mold before closing. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range** Operates: Yes gas
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

*** Pursuant to 13:40-15.16 Standards of practice**

1) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN EAT-IN : Seal the granite counter tops at least twice a year. Have the large door adjusted; for safety; heavy door drops on its own. The door does not close all the way and door is a safety hazard; should be repaired.** The under counter outlets were GFCI protected; reset is on the back splash outlet. That outlet was pulled out of wall and power cords plugged into them; have electrician make repair. The sprayer was leaking; have repaired. Ask if Anderson windows are under warranty. Recommend having the center 2x4 straightened under sink that was installed with the countertop cut to fit and plumb. Appears to have been added for the heavy granite top installation.

CONCERNS:

1. Have appliance technician evaluate the oven door; drop hard and does not seal properly.



Figure 36 Have outlet repaired by electrician; shock hazard.

LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No *Safety hazard*
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Dryer Water heater Furnace Cluttered

Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.

Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.

Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up : N/A Yes No

GENERAL COMMENTS

LAUNDRY : Clean the dryer vent yearly or more for fire safety.

BATHROOMS

BATH: MASTER BATH

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
 Loose: Yes No
 Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal Poor
Hot water: Yes No
 Cold water: Yes No

TOILET

Bowl Loose: Yes No
 Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic
 Fiberglass
 Masonite
 Other
Condition: Satisfactory Marginal Poor
 Rotted floors
Caulk/Grouting Needed: Yes No
 Where:
Functional Drainage: Adequate Poor
Functional Flow: Adequate Poor
Whirlpool Operable: N/A Yes No
 Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
Outlets present: Yes No
G.F.C.I. Present: Yes No
Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEATING / COOLING SOURCE

Yes
 No
Window/Door: Yes No
 Satisfactory Marginal Poor
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

MASTER BATH: Clean fan periodically to maintain lint free. The jetted tub had a clean-out or blowout cycle that starts a period of time after tub has been drained; will make noise during this cycle.

MAIN BATH: 1ST BY OFFICE

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Painted tub*
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: Poor
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

MAIN BATH 1ST FL By OFFICE : There is floor damage on wood flooring and water stains to left of pedestal sink. The stains tested dry; monitor for plumbing leaks from fixtures in room. The tub was painted white; will continue to scrap or peel over time or in contact with sharp objects.*

BATH: BEDROOM #2 GOLD

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: No Operates: Yes Two flushes** Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where:
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

BATH BEDROOM #2 GOLD: Toilet took two tries to make toilet flush; may not have been used in a while.** If continues to have flush slowly, have a plumber evaluate.

BATH: MAIN BATHROOM

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: ceiling
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

BATH MAIN (GOLD ORNATE) : This floor was raised when renovated; use caution not to trip.

FOYER

LOCATION: 1ST FLOOR

Walls & Ceiling: Satisfactory Marginal Poor
 Moisture stains: Yes No Where:
 Floor: marginal wood Poor Squeaks Slopes
 Typical cracks: Yes No
 Ceiling Fan: N/A Satisfactory Marginal Poor
 Electrical: Switches: Yes No Outlets: Yes No Operates: Yes No
 Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
 Heating/Cooling Source: Yes No Holes: Doors Walls Ceilings
 Bedroom Egress Restricted: N/A Yes No
 Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

FOYER 1ST FL: There is a hump that runs the length of the hallway. There were questionable repairs in basement below this area. See basement structural comments.

DINING ROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: marginal wood Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

DINING ROOM :

LIVING ROOM

LOCATION: FRONT LEFT 1ST

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: marginal wood Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No * Broken Vapor Seals : Yes No
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

LIVING ROOM FORMAL : (Framed chimney) There is a gas fireplace in this room; did not turn on with knob. Recommend having turned on and add flue clamp for safety. The window to left of fireplace has upper sash that drops on its owns; have adjusted for hand /finger safety.*

FAMILY ROOM

LOCATION: REAR RIGHT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No **Where:**
Floor: marginal** wood Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

FAMILY ROOM (brick chimney) : The lock on slider door was broken; stick keeping door closed. Have lock smith or door installer evaluate and repair. There is a gas fireplace in this room; knob turns it on. The gas fireplace had heavy soot and cracked log; have fireplace store/company evaluate and make repairs. There was soot on exterior chimney chase; have chimney contractor evaluate chimney and fireplace. Recommend a flue clamp for safety. Consider upgrading the logs and controls; safety features and remote. The fan did not go on with wall switches; further evaluate and retest. There is some floor damage; digs and moisture stains. There is floor molding separation and sloped flooring as well as throughout home. See structural comments "basement."

OFFICE ROOM

LOCATION: 1ST FLOOR FRONT RIGHT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No **Where:**
Floor: marginal wood Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

OFFICE ROOM :

FOYER 2ND FLOOR

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory wood, carpeting Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

FOYER 2ND FLOOR : Flooring in room as below is sloped and a hump along the length from front of house. There are patched floor boards or repairs. See basement section comments- structure.

MASTER BEDROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM :

#2 BEDROOM/SITITNG ROOM

LOCATION: FRONT RIGHT GOLD

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Poor Squeaks Slopes
Floor: marginal wood No Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No** Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No** Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM /SITTING ROOM GOLD: (with bathroom) The front right window facing house was found in a tilted or misaligned position with upper sash dropped. Windows would not match up and close properly. Have a window installer evaluate and repair.** Ask if windows are under warranty and if transferrable. The roof off the front appears newer; rolled roofing. The windows screens are torn; have replaced. There were floor board repairs; square outline where replaced and cut out.

#3 BEDROOM FRONT CENTER

LOCATION: 2ND FLOOR GREEN

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: marginal wood Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#3 BEDROOM FRONT CENTER :

#4 BEDROOM FRONT LEFT

LOCATION: RUST COLOR

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: carpeting Poor – hump, movement/loose boards Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#4 BEDROOM FRONT LEFT : This room has access to the roof balcony; use caution with small children present. The door to balcony was canted or gaps around door frame. There is thick carpeting with a hump; movement when walking across the floor. Floor is very uneven; have carpenter evaluate further.

GAME ROOM

LOCATION: FINISHED ATTIC

Walls & Ceiling:	<input checked="" type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Where:
Floor:	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks	<input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Safety Hazard
Bedroom Egress Restricted:	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Doors
Doors & Windows:	Operational: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Broken Vapor Seals :	<input type="checkbox"/> Walls
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Ceilings
			<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

GAME ROOM : Roof access limited to the knee wall area by air handler.

II. GUEST HOUSE

KITCHEN

COUNTERTOPS Satisfactory Marginal *Recommend repair/caulking*

CABINETS Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks *Moisture stains*

HEATING / COOLING SOURCE Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks

APPLIANCES * *(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers for leaks, damage & mold before closing. Contents of home not manipulated and moved in a visual home inspection.*

Disposal Operates: Yes No Oven/Range Operates: Yes electric*
 Dishwasher Operates: Yes old
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No
Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

* Pursuant to 13:40-15.16 Standards of practice

l) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN GUEST : Have all the features such cleaning, timers, etc. checked before closing.* The dishwasher was not secured to the underside of counter top; have secured. Have electrician correct outlets where not flush or recessed into walls for safety. Seal granite countertops at least twice a year to maintain.

BATHROOMS

MAIN BATH: 1ST FLOOR

SINKS / SHOWERS

Faucet leaks: Yes No
 Loose: Yes No
 Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal Poor
Hot water: Yes No
 Cold water: Yes No

TOILET

Bowl Loose: Yes No
 Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic shower pan
 Low quality shower & surround- bead board
Condition: **Poor**
 Check for water/moisture damage behind bead board- open junctures/gaps
Caulk/Grouting Needed: Yes
 Where: recommend upgrading shower stall
Functional Drainage: Adequate
 Poor- SINK
Functional Flow: Adequate Poor
Whirlpool Operable: N/A Yes No
 Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
Outlets present: Yes No
G.F.C.I. present: Yes No
Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
Window/Door: Yes No
 Satisfactory
 Marginal
 Poor
Exhaust Fan: Yes No
Operates: Yes No
Noisy: Yes No

GENERAL COMMENTS

MAIN BATH 1ST FLOOR : The shower stall was made of bead board and junctures were open; water/moisture can get behind these walls. Recommend upgrading shower stall; check for water and mold damage when upgrading. Do not use shower until properly caulked or upgraded. The sink drained very slowly; have plumber check drains.

MAIN BATH: 2ND FLOOR

SINKS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where:
 Functional Drainage: Adequate Poor Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE Yes No

Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

MAIN BATH : There was corrosion under the sink; have plumber evaluate and upgrade where needed.

MASTER BEDROOM

LOCATION: 2ND FLOOR

Walls & Ceiling: Satisfactory Marginal Poor
 Moisture stains: Yes No Where:
 Floor: Satisfactory Marginal Poor Squeaks Slopes
 Typical cracks: Yes No
 Ceiling Fan: N/A Satisfactory Marginal Poor
 Electrical: Switches: Yes No Outlets: Yes No Operates: Yes No
 Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
 Heating/Cooling Source: Yes No Holes: Doors Walls Ceilings
 Bedroom Egress Restricted: N/A Yes No
 Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM GUESTHOUSE 2ND FLOOR : This second floor was finished; not access to roof structure. There was a sealed panel by front window; have opened and check inside.

#2 BEDROOM /OFFICE 1ST FLOOR

LOCATION: 1ST FLOOR

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor No
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM/OFFICE GUESTHOUSE 1ST FLOOR : There were vapor seal breaks and cracked glass on windows in this room. Windows in kitchen/dining area were sweating; indication of thermo vapor seal loss. Have window installer evaluate all window sin home. Windows were older and hazy or condensate between panes and on inside of glass; lose their thermal vapor seals as they age. Consider adding tamper resistant outlet in rooms if small children living in home for added safety. Closets in this guesthouse were cold; recommend adding louver doors to storage areas that are not heated.

CONCERNS:

1. Have window installer evaluate windows and make replacement/upgrades where needed.

LIVING ROOM

LOCATION: 2ND FLOOR

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory carpeting Poor No
Typical cracks: Yes No
Ceiling Fan: no remote to test Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals : Yes No
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

LIVING ROOM GUESTHOUSE : Add railing on lower steps for safety. The furnace thermostat is in this room; older type. Change batteries at least yearly. Ask if there is a remote for the ceiling fan; unable to test. The slider leads to the deck; keep snow off deck to avoid water seepage.

HEATING

HEATING SYSTEM - UNIT #1

Location: utility room

(See remarks page)

Brand name: Carrier Approximate age: 15+ year(s) Unknown
 Ducts: Have ducts cleaned **Energy Source:** Gas LP Oil Electric

Warm Air System: Belt drive Direct drive Gravity Central system Floor/Wall unit
Heat Exchanger: N/A (sealed) Visual w/mirror *Flame distortion* *Rusted* *Carbon/soot buildup*
Carbon Monoxide: N/A Detected at Plenum/Register Not tested
CO Test: Yes No **Combustion Air Venting Present:** Yes No N/A
Controls: Disconnect: Yes No Normal operating and safety controls observed
Distribution: Metal duct Insul. flex duct Cold air returns Duct board *Asbestos-like wrap*
Flue Piping: N/A Rusted Improper slope *Safety hazard*
Supports for Piping/Insulation: N/A Yes No
Filter: Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
When Turned On By Thermostat: Fired Did not fire Proper Operation: Yes No Not tested
Heat Pump: Aux. electric Aux. gas N/A **Sub-Slab ducts:** Yes No N/A
System Not Operated Due To: Exterior temperature Other Recommend testing prior to *closing*
 Recommend technician examine yearly **System Condition:** Satisfactory Marginal Poor

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend testing prior to *closing*

OTHER SYSTEMS

N/A

Electric baseboard

Radiant ceiling cable

GENERAL COMMENTS

HEATING: Recommend cleaning filters periodically as per manufacturer. There are typically 30, 60, 90 day filters, washable filters, etc.; personal choice. Filter access is located in on rear of unit; front faces the rear wall in room. Recommend having ducts cleaned professionally yearly or as recommended by duct cleaning contractor for good indoor air quality. There is a bypass on duct labeled summer (off) and winter (on) to instruct when to use humidifier; never use in summer months. There is a humidity dial above the humidifier; needs to be off in summer and should not be higher than 35% in winter (makes ducts to wet). When a humidifier is in use in a home it must be properly serviced and ducts cleaned/inspected inside to check for mold. There is always a chance of mold when wet and or dirty conditions exist; mold testing and inspecting is not part of the general home inspection. Follow-up with duct cleaning contractor for service /evaluation before using the heating & cooling systems. Change batteries in thermostats yearly; located on 2nd floor living room. The humidifier unit should be inspected and serviced along with the HVAC (heating & cooling) yearly before each season.

WATER HEATER #2

N/A

Condition:

Satisfactory Marginal

Old

Brand name: State Select

Type: Gas Electric Oil Other

Unit Elevated: Yes No N/A *Tank/Piping corroded/leaking*

Capacity: 50 gallons Approximate age: ~12+ yrs.

Combustion Air Venting Present: Yes No N/A Seismic restraints needed: Yes No N/A

Relief Valve: Yes No **Extension proper:** Yes No *Missing* *Recommend repair*

Vent Pipe: N/A Satisfactory Pitch proper *Improper* *Rusted* *Recommend repair*

WATER SOFTENER

(Unit not evaluated) ask if water coming from main house- shutoff not visible

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing.

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Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumbing in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: The hot water heater was old or approximately 12+ yrs. old. Typically life expectancy is ~10 yrs. and shorter if hard water in home. Recommend replacing hot water heater as preventative measure should unit fail, leak and flood the guesthouse. Have the plumber evaluate for new tank and evaluate the drains; slow in bathroom 1st floor. There was rat droppings around the furnace and hot water heater. Have gaps reduced in shop and in the guesthouse; upgrade doors and weather seals, seal or repoint all foundations and walls to avoid entry points for rodents.

SHOP ROOM**LOCATION: ATTACHED TO GUESTHOUSE**

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where: Squeaks Slopes
Floor: Satisfactory Marginal Poor
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes Rot around door & windows Broken Vapor Seals : N/A
Locks/Latches Operable: No Missing Cracked Glass

MAIN PANEL Location: **Shop front wall** **Condition:** Satisfactory Square D
Adequate Clearance to Panel: Yes No Amperage: **100** Volts 120/240 Breakers Fuses
Appears Grounded: Yes No panels or load center undersized for some areas*
G.F.C.I. present: Yes No **A.F.C.I. present:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
Condition: Satisfactory **undersized*** **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
Condition: **Shock hazards** **Poor** **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Corroded electrical in entire shop**
 Read **REMARKS** addendum to report- "tripping breakers" **Safety Hazard**

SUB PANEL(S) None apparent Breakers safety concerns in shop!
Location 1: rear shop Location 2: room behind guesthouse (~30 amps/lightweight)- appears overloaded
Location 3: room behind guesthouse (A/C and Oven)
Predominant Branch Wire: Copper **wire trays corroded & cover rusted out- electrical hazards exist**
Neutral/ground separated: Yes No Neutral isolated: Yes No **Safety hazard**
Condition: Marginal Poor **Recommend evaluating all electrical in guesthouse and shop**

GENERAL COMMENTS

SHOP ROOM : The shop had leaking roof; water puddles on flat surfaces, floor, walls and heavy efflorescence on concrete blocks and stone walls. The ceiling had water stains and active leaking. Roof was in poor condition; see roofing section comments. Water was ponding all around the building from scuppers discharging on ground below. There were mud daubers everywhere in shop, attic main house and outbuildings. There were abandoned pipes on rear wall; further evaluate and seal to keep out insects or rodents. The electric in shop was corroded; conduits, BX cables, wire trays, electrical boxes, outlets, switches, etc. The front main panel had a 30 amp feeder breaker to Garage; recommend upgrading power to garage. See garage section electrical comments. There were two sub panels in room behind the guesthouse bedroom/office #2. The first panel had too many breakers in panel; have evaluated.* Panel is approximately a 30amp panel. The second panel was to left on rear walls; mainly had the A/C and electric oven breakers. Have all panels in Guesthouse and Shop evaluated along with the shop electric. Recommend GFCI outlets in shop for safety. The rear wall sub panel had two breakers off; further evaluate reason. Have electrician evaluate all multi-wire branch circuits for safety ties. There were more than one neutral per terminal screw; have separated for safety. Recommend a licensed electrician evaluate entire electrical system and distribution and make upgrades; electrical shock hazards exist. There right stone wall had sealed up door; outline visible. There were cracks, gaps and missing mortar on stone and concrete walls; have a mason or building contractor evaluate and repoint all walls. There was a crack on rear walls; have evaluated and properly repaired. See exterior section comments. The right side door & windows had rot; have all windows and doors evaluated and replaced/repaired.

CONCERNS:

1. The electric in shop was corroded; conduits, BX cables, wire trays, electrical boxes, outlets, switches, etc. Recommend GFCI outlets in shop for safety. The rear wall sub panel had two breakers off; further evaluate reason. Recommend a licensed electrician evaluate entire electrical system and distribution and make upgrades; electrical shock hazards exist.

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WINDOWS/FIREPLACES/HALL/ATTIC**INTERIOR WINDOWS / GLASS**

Condition: Satisfactory Marginal Poor Needs repair rotted(Shop) (See remarks page)
 Representative number of windows operated Ask if windows under warranty

Evidence of Broken Vapor seals : Yes No N/A **Safety Glazing Needed:** Yes No

Glazing compound needed Cracked glass Hardware missing Broken counter-balance mechanism

Security Bars Present: N/A Yes No Not tested Safety hazard Test release mechanism before moving in

FIREPLACE None Location(s): living and family rooms

Recommend having flue cleaned and re-examined

Type: Gas (Not Tested) Wood Wood burner stove (See remarks page) Electric Ventless

Material: Masonry Metal (pre-fabricated) Metal insert

Miscellaneous: Blower built-in **Damper operates:** Yes need flue clamps for safety

Open joints or cracks in firebrick/panels should be sealed Fireplace doors need repair

Damper Modified for Gas Operation: Yes No N/A Damper missing Pre-fab panels damaged/worn

Hearth Adequate: Yes No **Mantle:** N/A Satisfactory Adequate Loose/missing

Physical Condition: Satisfactory Marginal have chimney contractor conduct a Level II chimney inspections

STAIRS / STEPS / BALCONIES

Satisfactory Marginal Poor None

Handrail: Satisfactory Marginal Poor Safety hazard Loose; secure properly

Risers/Treads: Satisfactory Marginal Poor Risers/Treads uneven/unsafe

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

Present: Smoke Detector: Yes No **Operates:** Yes No Not tested

CO Detector: Yes No **Operates:** Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION N/A

Access: Stairs Pull down Scuttle hole/Hatch- small door- sealed on 2nd FL guest house

Inspected From: sealed- have opened In the attic- by air handler only Inaccessible- Main house & guest houses

Location: Bedroom hall Bedroom closet Garage 2nd floor

Access Limited By: lack flooring & inaccessible due to finished rooms

Flooring: Complete Partial None

Insulation: Type: fiberglass Batts Loose Average inches: 1-3 Approx. R-rating: Unknown

Damaged Displaced Missing Compressed Recommend Baffles @ Eaves

Installed In: Rafters Walls Between ceiling joists Not visible

Recommend more ventilation

Note: Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

Ventilation: Yes No Ventilation appears adequate Recommend additional ventilation

Need more Ventilation to avoid ongoing mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage

Fans Exhausted To: N/A Attic: Yes No Outside: Yes No Not visible

HVAC Duct: Satisfactory Damaged Split Disconnected Leaking Repair/Replace

Chimney Chase: N/A Satisfactory Needs repair Not visible

Structural Problems Observed: not visible Recommend repair Recommend Structural Engineer

Roof Structure: Rafters Trusses Wood most inaccessible – finished rooms

Collar Ties Present: not visible No N/A

Roof Sheathing: Plywood OSB lx Wood Cedar shingles Rotted Stained Delaminated

Evidence of Condensation/Moisture Leaking: not visible (See remarks page) Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.

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Ceiling Joists: Wood Metal Other Not visible
Vapor Barriers: Kraft/foil faced Plastic Not visible Improperly installed
Firewall Between Units: N/A Yes No Needs repair/sealing (See remarks page)
Indication of Past fire damage Not visible Recommend checking with Local fire Marshall and Township
Electrical: Open junction box(es) Handyman wiring Visible knob-and-tube Loose wires/live wire

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: There was no access to main roof structures in the guest and main house; finished attic or upper rooms. There was only a small area accessible to the air handler in main house; limited view of roof structure. Many window frames were rotted on exterior; have a carpenter or building contractor evaluate extent of all damage on exterior and make repairs. Have a siding contractor evaluate the exterior siding and advise on all repairs and preventative measures. Flashings and wood trim wrapping is recommended to help protect the wood from reoccurring water damage. There were broken vapor seals on guest house windows; have window installer evaluate and make replacements. There were some windows in main house (possibly Pella brand) that dropped upper sashes; hand & finger safety hazards. There was a window in the 2nd floor front right sitting room/bedroom (Gold color) that had misaligned window sashes found tilted and open at top. This window does not fit properly and cannot close. Have a window installer evaluate all windows and make replacements, adjustments or repairs where needed. Ask if any windows are under warranty and if transferrable. Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is always recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. See chimney section comments. There was a cutoff PVC plumbing vent in attic knee wall; needs to vent to outside for safety. There was powder post beetle damage on heavy timber in knee wall area by A/C air handler. Have licensed pest company treat all damage.

CONCERNS:

1. Have a window installer evaluate the vapor seal breaks in guesthouse. In main house there were broken counter balance (drop on their own), misaligned upper & lower sash and broken slider door lock in family room. Have a window installer evaluate all windows and make replacements, adjustments or repairs where needed. Ask if any windows are under warranty and if transferrable.
2. Have licensed plumber evaluate the cutoff plumbing vent in the knee wall; unconventional/safety concern.



Figure 37 Example of vapor seal breaks on guesthouse windows; older thermo pane type. Have a window installer evaluate all windows and make repairs/replacement where needed.



Figure 38 (A) Plumbing vent terminates in attic knee wall by air handler; have plumber evaluate and advise on corrections. (B) example of powder post beetle damage/frass. See basement and structure comments.

BASEMENT

STAIRS N/A

Condition: **unsafe- no railings, no step or railing on lower landing, excess stringer, uneven top landing** **Need repair**

Handrail: Unsafe No **Condition:** add railing

Headway Over Stairs: Satisfactory Low clearance Safety hazard

FOUNDATION **Condition:** Satisfactory Marginal- seal all cracks & repoint where needed

Material: Concrete block Fieldstone Seal all holes, around utilities, Repoint

Horizontal Cracks: Yes No Typical **Step Cracks:** Yes No Typical

Vertical Cracks: Yes No Typical **Covered Walls:** Yes No Typical

Movement Apparent: Yes No **Indication of Moisture:** Yes Seepage Fresh Old stains

Condition reported above reflects visible portion only

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling

D = Drywall

S = Storage

W=Wet basement

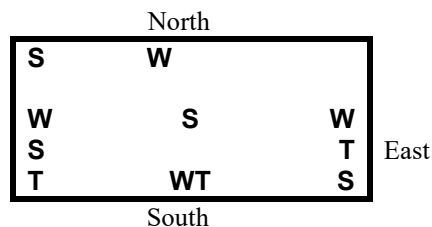
C = Crack(s)

M = Monitor

E = Evaluate

West

East



FLOOR **Material:** Concrete Dirt/Gravel Not visible Other

Condition: Satisfactory wet, seepage Typical cracks Large cracks Entire basement cluttered

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS

N/A None visible Appear satisfactory Recommend evaluation

BASEMENT DRAINAGE

Indication of moisture: Yes Seepage Fresh Old stains

Environmental Hazards: Mold, etc. are Not part of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

Basements are not intended for legal bedrooms or living spaces unless deemed by local township which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

Sump Pump: Yes No **Tested:** No Not tested- sealed radon system in use

Floor Drains: Yes No Not visible Efflorescence present Recommend dehumidifier

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

GIRDERS / BEAMS / COLUMNS**Material:** Steel Wood heavy timber (mortise & tenon)**Condition:** Satisfactory Marginal Powder post beetle/wood boring beetle damage Have extent of all damage evaluated. Have licensed Pest Company treat for Wood boring beetle, carpenter ant, and termite**JOISTS****Material:** Wood Heavy timber (mortise & tenon) Engineered I-Type *Sagging/altered joists* *Handyman structural repairs- sagging joists***Condition:** Satisfactory Marginal Poor (IF CHECKED) Wood destroying insect evidence was present: Recommend structural carpenter evaluate extent of all wood destroying insect damage and licensed treatment company exterminate prior to closing.**SUB FLOOR** Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement or crawl space**GENERAL COMMENTS**

BASEMENT (Structure Deficiencies & Seepage) : Coat hooks are near eye or head level when going down the basement stairs; have raised for safety or remove. Consider a higher child lock in kitchen on basement door for small child safety. There is a height difference at top of basement steps in kitchen; slip/fall hazard. This should be level for safety and non-slip tread tape on edges. Add railings on steps for safety. The stringers need to be cut at bottom; trip hazard. The basement landing on right side does not have a step or railing; have installed for safety. Recommend more ventilation in front room by well storage tank; high humidity and water seepage. The metal supports under front steps were corroded/deterioration/flaking metal; have these structural supports evaluated by structural contractor. There was evidence of termite damage, powder post/wood boring beetle damage and carpenter ant frass in basement on beams, joists, sub-flooring, wood in front basement, etc. Have extent of all wood destroying insect damage determined by a structural carpenter and advise on repairs. There were repairs in basement and crawl space. Supports were not under junctures where mortise & tenon separated and sagging joists and beam(s); deficiencies still exist. There were temporary screw jacks and handyman repairs. Much of the flooring above on all floors were sloped, uneven and humps. Have a structural engineer or qualified structural contractor or building contractor evaluate repairs, structure in home and advise on all structural repairs. Basement had water coming down walls and onto floor and crawl space had moisture, wet spots and efflorescence in these areas. Gutters or roof drainage systems as well as grading and drainage need to be addressed and measures done to control water seepage. There were a few sump pumps that were sealed; radon mitigation running in home. Sump pumps were not tested; seals cannot be tampered with when mitigated. Check sump pump to see if running during a rain storm; if not have replaced and reseal the sump lids. One of the lids had an opening in crawl space; possibly for a dehumidifier. Recommend a dehumidifier in crawl and tube to this hole (seal up). Recommend a sump pump with battery back-up and or other water management system for preventative measures should basement get wet or flood. Have wet basement damp proofer contractor evaluate for system(s) to maintain a dry basement. Basement shows signs of water penetration, seepage or wet conditions. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend cleaning and maintaining gutter and leaders for proper water drainage. Recommend a dehumidifier for moisture control as good practice. Recommend "battery backup sump pumps" or "water-powered back-up sump pumps" should there be power loss to home. Due to recent storms and extended power loss; recommend using a generator. The home and other structures were wired for generators; ask if the generators are staying with the home. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Gutters on all structures need to be replaced and added where missing; poor condition. Recommend cleaning and maintaining gutter and leaders for proper water drainage.

CONCERNS:

1. Basement had water coming down walls and onto floor and crawl space had moisture, wet spots and efflorescence in these areas. Gutters or roof drainage systems as well as grading and drainage need to be addressed and measures done to control water seepage.
2. There is a height difference at top of basement steps in kitchen; slip/fall hazard. This should be level for safety and non-slip tread tape or edges. Add railings on steps for safety. The stringers need to be cut at bottom; trip hazard. The basement landing on right side does not have a step or railing; have installed for safety.
3. The metal supports under front steps were corroded/deterioration/flaking metal; have these structural supports evaluated by structural contractor.
4. There was evidence of termite damage, powder post/wood boring beetle damage and carpenter ant frass in basement on beams, joists, sub-flooring, wood in front basement, etc. Have extent of all wood destroying insect damage determined by a structural carpenter and advise on repairs.
5. There were repairs in basement and crawl space. There were handyman repairs and temporary screw jacks; improper. Supports were not under junctures where mortise & tenon separated and sagging joists and beam(s); deficiencies still exist. Much of the flooring above on all floors were sloped, uneven and humps. Have a structural engineer or qualified structural contractor or building contractor evaluate repairs, structure in home and advise on all structural repairs.



Figure 39 Have a contractor or carpenter repair the uneven heights between the kitchen floor and the wood just inside the basement at top of steps. Add railings for safety, and on basement landing to right; safety hazard. Have stringers trimmed at bottom; trip hazard.



Figure 40 Lower landing unsafe; no railing or step to right side. Recommend railing on all steps.



Figure 41 Corroded metal floor supports under front steps in well storage room. There was termite damage on wood in front room.



Figure 42 Termites damage sills, joists, sub-flooring in basement. Have structural carpenter determine the extent of damage.



Figure 43 Termites damage sills, joists, sub-flooring in basement. Have structural carpenter determine the extent of damage.



Figure 44 Example of powder post beetle damage. Have a structural carpenter determine extent of all wood destroying insect damage before closing.



Figure 45 Have all structural repairs evaluated by a structural engineer or qualified building contractor before closing. There were structural concerns and handyman repairs.

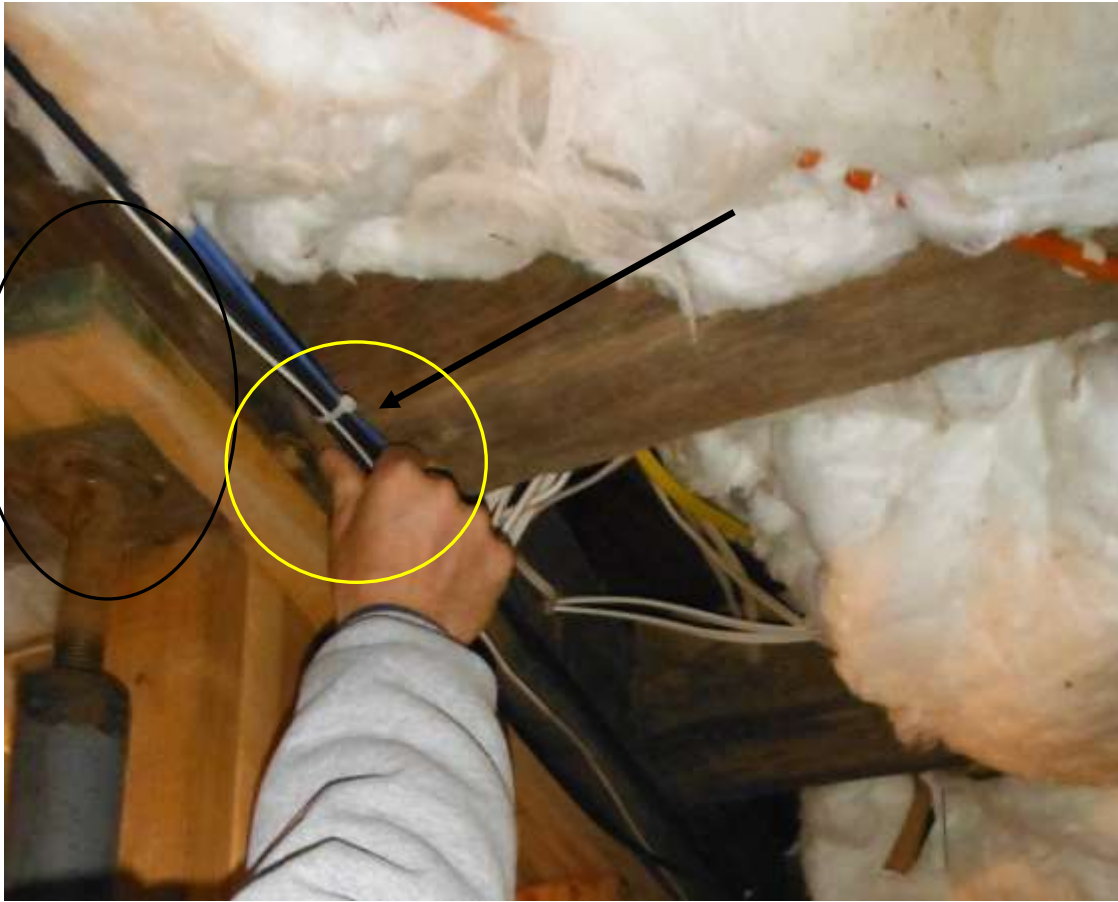


Figure 46 Handyman repairs; have structural engineer evaluate repairs and structure and advise on all needed structural repairs.



Figure 47 Improperly repaired structure in basement; handyman or improper.



Figure 48 Have structural engineer or qualified building contractor evaluate repairs and structure in home.

CRAWL SPACE

CRAWL SPACE N/A Full crawlspace Combination basement/crawl space
 Conditioned (heated/cooled): Yes No

ACCESS Exterior Interior hatch door Via basement **No Access or Sealed**
Inspected from: Access panel In the crawl space

FOUNDATION WALLS **Condition:** Satisfactory Marginal- repoint where needed, seal all holes
 Concrete block Seal all cracks in foundation where needed Stone

FLOOR
 Concrete Typical cracks Large cracks

SEISMIC BOLTS
 N/A None visible Appear satisfactory Recommend evaluation

DRAINAGE
 Outside drain **Sump pump pit :** Yes No pump Operable: Yes No
 None apparent **Evidence of moisture :** Yes No **Recommend dehumidifier**

VENTILATION **Wall vents- foam in vent** recommend a dehumidifier if blocking wall vents

GIRDERS / BEAMS / COLUMNS Steel Wood Masonry Not visible
Condition: Satisfactory Marginal Poor

JOISTS **Material:** Wood Steel Engineered joists Not visible- insulation in ceilings
Condition: Satisfactory bottoms visible - insulation

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.

SUB FLOOR Not visible insulation in ceiling

MOISTURE STAINS water on floor, walls
 install a dehumidifier in crawl and front room by well storage equipment

INSULATION None **Type:** fiberglass
Location: Walls Between floor joists All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

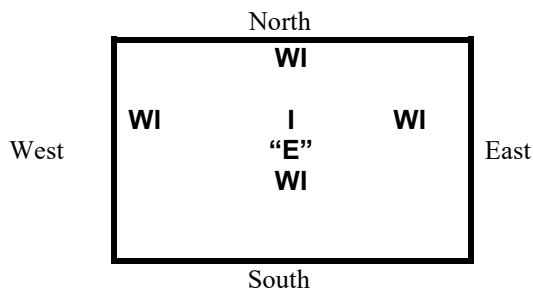
VAPOR BARRIER Yes No
 Kraft/foil face Plastic Other Not visible

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

- P = Paneling
- D = Drywall
- I=Insulation
- C = Crack(s)
- M = Monitor
- E = Evaluate all structure & repairs, unconventional

W= Water, damp, wet



GENERAL COMMENTS

CRAWL SPACE : There is a sump pit in crawl space; add sump pump for added safety measure. There was efflorescence on walls, water on floor, wet or damp walls; have drainage & grading and gutters addressed on exterior. Recommend a dehumidifier in crawl and basement for moisture control. Have structural engineer or building contractor evaluate structure, repairs in basement and crawl space and advise.

CONCERNS:

1. There is water seepage and efflorescence on walls in crawl space; have grading & drainage and gutters addressed on exterior.
2. There were structural repairs in crawl and basement; some were improper and not catching under Mortise & tenon unions. Have a structural engineer or building contractor evaluate all repairs and advise.



Figure 49 Seepage in crawl space and vents were closed with foam. Moisture needs to be removed; correct grading & drainage, gutters and install dehumidifier.



Figure 50 Water coming into basement; seepage.



Figure 51 Water coming into basement; seepage.



Figure 52 Water coming into basement; seepage.

PLUMBING**WATER SERVICE****Main Shut-off Location:** by well storage tank in basement **All home will have plumbing repairs/upgrades at some point- monitor plumbing****Water Entry Piping:** Not visible Copper/Galv. **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown**Visible Water Distribution Piping:** Copper Galvanized **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown**Condition:** Satisfactory Marginal not visible where finished**Lead Other Than Solder Joints:** Yes No Unknown Service entry**Functional Flow:** Adequate Low Poor **Water pressure over 80 psi; high****Pipes, Supply/Drain:** **Corroded** **Leaking** **Upgrade all corrosion, or where mineral deposits**
 Dissimilar metal**Drain/Waste/Vent Pipe:** Copper Cast iron Galvanized PVC ABS**Condition:** Satisfactory Marginal Poor **Cross connection:** not visible**Support/Insulation:** Type: ---**Traps Proper P-Type:** N/A Yes No; some S-type or other **P-traps recommended****Functional Drainage:** Adequate Poor **Recommend plumber evaluate****Interior Fuel Storage System:** Yes No Leaking: Yes No**Gas Line:** Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible**Condition:** Satisfactory Marginal Poor **NOTE:** T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.**MAIN FUEL SHUT-OFF LOCATION**

Exterior by gas meter & A/C unit in rear- guesthouse, right side for main house

FIXTURES IN HOME All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.**Note:** Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure.

Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP N/A Submersible**Storage Location:** In basement Well house Well pit Shared well**Pressure Gauge Operates:** Yes No Unknown Well pressure: ~40 psi Not visible Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.**SANITARY / GRINDER PUMP** N/A**WATER HEATER #1** N/A **Condition:** Satisfactory Marginal Poor**Brand name:** Vitocell H-310 (Indirect-Fired DHW Tanks) domestic hot water heater by Viessmann (Canada based company)

NOTES: Extremely efficient indirect hot water production by boiler. See heating section.

Type: Gas Indirect fired with Viessmann Boiler Vitodems 200 gas fired boiler**Unit Elevated:** Yes No N/A **Tank/Piping corroded/leaking****Capacity:** (42 to 120) gallons Approximate age: **unknown- obtain closed twp. permits****Combustion Air Venting Present:** N/A Seismic restraints needed: Yes No N/A**Relief Valve:** not visible **Extension proper:** Yes No **Missing** **Recommend repair****Vent Pipe:** N/A indirect fired tank **Rusted** **Recommend repair****WATER SOFTENER** (*Unit not evaluated*) Not part of home inspection**Loop Installed:** Yes No **Plumbing Hooked Up:** Yes No**Softener Present:** Yes No **Plumbing Leaking:** Yes No**NOTE:** Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures**This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.**

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resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumbing in home. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: The home has been vacant. Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time especially with well water. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. There was corrosion observed on plumbing; upgrade where needed. Have plumber upgrade older plumbing in home as needed. Plumbing code or any other code inspection is NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. Have plumber check the slow drain in guesthouse and the plumbing vent in the main house attic. Recommend replacing the old hot water heater in the guesthouse. Home has a septic system; follow-up with the inspection company for their inspection report.

CONCERNS:

1. Have plumber evaluate plumbing and upgrade or repair where needed.

HEATING

HEATING SYSTEM - UNIT #1 Location: [utility room](#)

(See remarks page)

BOILER SYSTEM Basement

Brand Name: Viessmann. **Approximate age:** Unknown

Viessmann Manufacturing Company Inc. Waterloo, ON Canada 1-800-387-7373 www.viessmann.ca	Viessmann Manufacturing Company (U.S.) Inc. Warwick, RI U.S.A. 1-800-288-0667	Technical Data www.viessmann.us 
---------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------



- | | | | |
|-------------------------|------------------------------------------------------------------------------------------------------|----------------------------------------------------------------|--------------------------------------------------------------------------------------------------|
| Carbon Monoxide: | <input type="checkbox"/> N/A | <input type="checkbox"/> Detected at Plenum/Register | <input type="checkbox"/> Not tested |
| CO Test: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Combustion Air Venting Present: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A |
| Energy Source: | <input checked="" type="checkbox"/> Gas | <input type="checkbox"/> LP | <input type="checkbox"/> Oil <input type="checkbox"/> Electric |
| Distribution: | <input checked="" type="checkbox"/> Hot water | <input checked="" type="checkbox"/> Baseboard | <input type="checkbox"/> Steam <input type="checkbox"/> Radiator |
| Circulator: | <input checked="" type="checkbox"/> Pump | <input type="checkbox"/> Gravity | <input checked="" type="checkbox"/> Multiple zones -main, attic |
| Controls: | Temp/pressure gauge exist: | <input checked="" type="checkbox"/> not visible | Operating: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Oil Fired Units: | Disconnect: <input type="checkbox"/> Yes <input type="checkbox"/> No | Combustion Air Venting Present: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A |
| Relief valve: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Missing | Extension proper: | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Operated: | When turned on by thermostat: | <input checked="" type="checkbox"/> Fired | <input type="checkbox"/> Did not fire |
| Operation: | Satisfactory: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | <input checked="" type="checkbox"/> Recommend servicing yearly | |
- Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.**

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OTHER SYSTEMS
 Manifold located in basement- monitor for leaks & corrosion

 Heated/radiant flooring (family & kitchen)

 Gas space heater

 Wood burning stove *(See Remarks page)*
Proper Operation:
 Yes

 No
System Condition:
 Satisfactory

 Marginal

 Poor
GENERAL COMMENTS

HEATING: The boiler is a high-efficiency Vitodens 200 and is Viessmann stainless steel Inox-Radial heat exchanger with a MatriX cylinder burner. This is a gas-fired condensing boiler that is high efficiency designed to work together to achieve the greatest heat extraction with minimal loss. Recommend obtaining the original owners manuals and have service performed yearly or as directed by the manufacturer. These are designed to heat large spaces with energy conservation and new technology. This product or company has main home base in Canada. Check with all documentation and manufacturer's warranty to see if lifetime warranty applies. This boiler is used for the indirect fired domestic hot water heater; see plumbing section. Obtain all documentation and warranty; ask if transferrable. There was some corrosion on a copper pipe above boiler; have plumber evaluate.

CONCERNS:

1. Have plumber check corrosion above boiler on copper piping.
2. Obtain all documentation, manuals, closed permits for installed boiler and indirect fired hot water heater.

COOLING

COOLING SYSTEM – UNIT #1

Central system Location: **outside** Approx. Age: **12-15+** yrs. old

Energy Source: Electric Gas Water Other
Unit Type: Air cooled Water cooled Gas chiller Geothermal Heat pump
Evaporator Coil: Satisfactory Not visible Needs cleaning Damaged
Refrigerant lines: *Leak* *Damage* *Insulation missing* Seal around coolant lines
Condensate Line/Drain: To exterior To pump Floor drain Laundry sink not visible

Temperature Differential : Unit 1 ??? °F Unit 2 ??? °F Unit 3 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit *(See remarks page)*

Compressor Condition: Satisfactory Marginal old Rusted Damaged

Operation: Satisfactory: Yes No *Not operated due to exterior temperature*

Recommend HVAC technician examine/clean/service yearly

Note: If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

GENERAL COMMENTS

COOLING : It is too cold to test A/C units; cannot be tested in cold weather to avoid damaging the compressors or condensing units. The A/C units are all very old and near or past expected lives. Have an HVAC contractor evaluate and advise on replacing or budgeting for new ones.

ELECTRICAL

MAIN PANEL Location: **Basement** Condition: Satisfactory Marginal Poor
Adequate Clearance To Panel: Yes No Amperage: **200** Volts 120/240 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper Aluminum* Copper clad aluminum Not visible
Condition: Satisfactory Poor **Recommend electrician evaluate/repair***
 Romex BX cable Conduit **Knob & tube possible in this age house****
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers too many breaker for sub panel conductor size*
 Location 1: **basement** Location 2: **basement***
Predominant Branch Wire: Copper Aluminum Copper clad aluminum
 Neutral/ground separated: Yes No Neutral isolated: Yes No **Safety hazard**
Condition: Satisfactory Marginal Poor **Recommend separating/isolating neutrals**

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal Poor Not accessible, clutter, furniture
 Open grounds Reverse polarity GFCIs not operating
 Solid conductor aluminum branch wiring circuits* (See remarks page)
 Ungrounded 3-prong outlets **Recommend electrician evaluate/repair***

GENERAL COMMENTS

ELECTRICAL: There was a sub panel with smaller conductors on main lugs. Panel was full and may have too many breaker for the conductor size; have electrician evaluate for safety.* Obtain all closed permits for panels. See Shop section electrical comments; shock hazards and deficiencies exist. All electrical in shop should be upgraded; unsafe. Home needs electrical upgrades throughout home, garage and exterior. Each family has different electrical requirements or needs. If more power is needed, discuss needs with electrician and have added. Do not use extension cords, multiplier adapters or power strips to add more power; fir safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such a sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits.

CONCERNS:

1. Have licensed electrician evaluate all electrical concerns and safety hazards in home and outbuildings.